

Bryan W. Shaw, Ph.D., P.E., Chairman  
Toby Baker, Commissioner  
Jon Niermann, Commissioner  
Richard A. Hyde, P.E., Executive Director



## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

July 14, 2016

RECEIVED  
JUL 27 2016  
COUNTY ENGINEER

Mr. Brian Baize  
Johnson Ranch Municipal Utility District  
270 N. Loop 1604 E., Suite 100  
San Antonio, Texas 78232

Re: Edwards Aquifer, Comal County

NAME OF PROJECT: **Johnson Ranch Storm Channel Improvements**; Located northeast of the intersection between FM 1863 and Johnson Way; Bulverde, Texas

TYPE OF PLAN: Request for Approval of a **Water Pollution Abatement Plan (WPAP)**; 30 Texas Administrative Code (TAC) Chapter 213 Edwards Aquifer

Regulated Entity No. RN105332522; Additional ID No. 13000142

Dear Mr. Baize

The Texas Commission on Environmental Quality (TCEQ) has completed its review of the WPAP application for the above-referenced project submitted to the San Antonio Regional Office by Bowman Consulting on behalf of Johnson Ranch Municipal Utility District on April 25, 2016. Final review of the WPAP was completed after additional material was received on June 24, 2016 and June 30, 2016. As presented to the TCEQ, the Best Management Practices (BMPs) were selected and construction plans were prepared by a Texas Licensed Professional Engineer to be in general compliance with the requirements of 30 TAC Chapter 213. These planning materials were sealed, signed and dated by a Texas Licensed Professional Engineer. Therefore, based on the engineer's concurrence of compliance, the planning materials for construction of the proposed project and pollution abatement measures are hereby **approved** subject to applicable state rules and the conditions in this letter. The applicant or a person affected may file with the chief clerk a motion for reconsideration of the executive director's final action on this Edwards Aquifer Protection Plan. A motion for reconsideration must be filed no later than 23 days after the date of this approval letter. *This approval expires two (2) years from the date of this letter unless, prior to the expiration date, more than 10 percent of the construction has commenced on the project or an extension of time has been requested.*

### PROJECT DESCRIPTION

The proposed project will have an area of approximately 3.60 acres. It will include the construction of a berm, improved spillway, grading, and excavation/removal of sediment from the existing channel. The impervious cover will be 0.189 acres (5.25 percent). The proposed impervious cover is associated with channel stabilization within the unnamed tributary of Cibolo Creek. No wastewater will be generated by this project.



### GEOLOGY

According to the geologic assessment included with the application, the site is located over the Glen Rose Limestone. No geologic or man-made features were identified by the project geologist. The San Antonio Regional Office site assessment conducted on June 10, 2016 revealed the site was generally as described in the geologic assessment.

### STANDARD CONDITIONS

1. Pursuant to Chapter 7 Subchapter C of the Texas Water Code, any violations of the requirements in 30 TAC Chapter 213 may result in administrative penalties.
2. The holder of the approved Edwards Aquifer protection plan must comply with all provisions of 30 TAC Chapter 213 and all best management practices and measures contained in the approved plan. Additional and separate approvals, permits, registrations and/or authorizations from other TCEQ Programs (i.e., Stormwater, Water Rights, UIC) can be required depending on the specifics of the plan.
3. In addition to the rules of the Commission, the applicant may also be required to comply with state and local ordinances and regulations providing for the protection of water quality.

#### Prior to Commencement of Construction:

4. Within 60 days of receiving written approval of an Edwards Aquifer Protection Plan, the applicant must submit to the San Antonio Regional Office, proof of recordation of notice in the county deed records, with the volume and page number(s) of the county deed records of the county in which the property is located. A description of the property boundaries shall be included in the deed recordation in the county deed records. A suggested form (Deed Recordation Affidavit, TCEQ-0625) that you may use to deed record the approved WPAP is enclosed.
5. All contractors conducting regulated activities at the referenced project location shall be provided a copy of this notice of approval. At least one complete copy of the approved WPAP and this notice of approval shall be maintained at the project location until all regulated activities are completed.
6. Modification to the activities described in the referenced WPAP application following the date of approval may require the submittal of a plan to modify this approval, including the payment of appropriate fees and all information necessary for its review and approval prior to initiating construction of the modifications.
7. The applicant must provide written notification of intent to commence construction, replacement, or rehabilitation of the referenced project. Notification must be submitted to the San Antonio Regional Office no later than 48 hours prior to commencement of the regulated activity. Written notification must include the date on which the regulated activity will commence, the name of the approved plan and program ID number for the regulated activity, and the name of the prime contractor with the name and telephone number of the contact person. The executive director will use the notification to determine if the approved plan is eligible for an extension.
8. Temporary erosion and sedimentation (E&S) controls, i.e., silt fences, rock berms, stabilized construction entrances, or other controls described in the approved WPAP, must be installed prior to construction and maintained during construction. Temporary E&S controls may be removed when vegetation is established and the construction area is stabilized. If a water quality pond is proposed, it shall be used as a sedimentation basin during construction. The TCEQ may monitor stormwater discharges from the site to evaluate the adequacy of temporary E&S control measures. Additional controls may be necessary if excessive solids are being discharged from the site.
9. All borings with depths greater than or equal to 20 feet must be plugged with non-shrink grout from the bottom of the hole to within three (3) feet of the surface. The remainder of the hole must be backfilled with cuttings from the boring. All borings less than 20 feet must be backfilled with cuttings from the



boring. All borings must be backfilled or plugged within four (4) days of completion of the drilling operation. Voids may be filled with gravel.

During Construction:

10. During the course of regulated activities related to this project, the applicant or agent shall comply with all applicable provisions of 30 TAC Chapter 213, Edwards Aquifer. The applicant shall remain responsible for the provisions and conditions of this approval until such responsibility is legally transferred to another person or entity.
11. This approval does not authorize the installation of temporary aboveground storage tanks on this project. If the contractor desires to install a temporary aboveground storage tank for use during construction, an application to modify this approval must be submitted and approved prior to installation. The application must include information related to tank location and spill containment. Refer to Standard Condition No. 6, above.
12. If any sensitive feature (caves, solution cavities, sink holes, etc.) is discovered during construction, all regulated activities near the feature must be suspended immediately. The applicant or his agent must immediately notify the San Antonio Regional Office of the discovery of the feature. Regulated activities near the feature may not proceed until the executive director has reviewed and approved the methods proposed to protect the feature and the aquifer from potentially adverse impacts to water quality. The plan must be sealed, signed, and dated by a Texas Licensed Professional Engineer.
13. No wells exist on site. All water wells, including injection, dewatering, and monitoring wells must be in compliance with the requirements of the Texas Department of Licensing and Regulation under Title 16 TAC Chapter 76 (relating to Water Well Drillers and Pump Installers) and all other locally applicable rules, as appropriate.
14. If sediment escapes the construction site, the sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain). Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50 percent. Litter, construction debris, and construction chemicals shall be prevented from becoming stormwater discharge pollutants.
15. Intentional discharges of sediment laden water are not allowed. If dewatering becomes necessary, the discharge will be filtered through appropriately selected best management practices. These may include vegetated filter strips, sediment traps, rock berms, silt fence rings, etc.
16. The following records shall be maintained and made available to the executive director upon request: the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
17. Stabilization measures shall be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, and construction activities will not resume within 21 days. When the initiation of stabilization measures by the 14th day is precluded by weather conditions, stabilization measures shall be initiated as soon as practicable.

After Completion of Construction:

18. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the San Antonio Regional Office within 30 days of site completion.
19. The applicant shall be responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. The regulated entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred. A copy of the transfer of responsibility must be filed with the



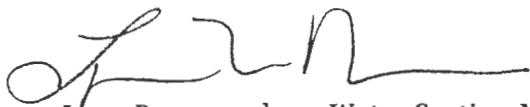
Mr. Brain Baize  
Page 4  
July 14, 2016

executive director through San Antonio Regional Office within 30 days of the transfer. A copy of the transfer form (TCEQ-10263) is enclosed.

20. Upon legal transfer of this property, the new owner(s) is required to comply with all terms of the approved Edwards Aquifer protection plan. If the new owner intends to commence any new regulated activity on the site, a new Edwards Aquifer protection plan that specifically addresses the new activity must be submitted to the executive director. Approval of the plan for the new regulated activity by the executive director is required prior to commencement of the new regulated activity.
21. An Edwards Aquifer protection plan approval or extension will expire and no extension will be granted if more than 50 percent of the total construction has not been completed within ten years from the initial approval of a plan. A new Edwards Aquifer protection plan must be submitted to the San Antonio Regional Office with the appropriate fees for review and approval by the executive director prior to commencing any additional regulated activities.
22. At project locations where construction is initiated and abandoned, or not completed, the site shall be returned to a condition such that the aquifer is protected from potential contamination.

This action is taken under authority delegated by the Executive Director of the Texas Commission on Environmental Quality. If you have any questions or require additional information, please contact Mr. Alex Grant of the Edwards Aquifer Protection Program of the San Antonio Regional Office at 210-403-4035

Sincerely,



Lynn Bumguardner, Water Section Manager  
San Antonio Region  
Texas Commission on Environmental Quality

LB/AG/eg

Enclosure: Deed Recordation Affidavit, Form TCEQ-0625  
Change in Responsibility for Maintenance of Permanent BMPs, Form TCEQ-10263

cc: Mr. Tracy Bratton, P.E., Bowman Consulting  
The Honorable Bill Krawietz, City of Bulverde  
Mr. Tom Hornseth, P.E., Comal County  
Mr. George Wissmann, Comal Trinity GCD  
Mr. Roland Ruiz, Edwards Aquifer Authority  
TCEQ Central Records, Building F, MC 21



June 29, 2016

Alex Grant  
Edwards Aquifer Protection Program  
Texas Commission on Environmental Quality  
14250 Judson Rd  
San Antonio, TX 78233

RECEIVED

JUL 06 2016

COUNTY ENGINEER

REC'D

JUN 30 2016

Region 13

RE: **Response #2 to TCEQ Comments Provided for Johnson Ranch Storm Channel Improvements WPAP Submittal dated April 21, 2016.**  
**San Antonio File No. RN105332522; Additional ID No. 13000142**

Dear Mr. Grant,

Thank you for your comments as a response to our Johnson Ranch Storm Channel Improvements Request for a WPAP dated June 28, 2016. We have addressed them as follows:

**Comment #1:** While reviewing your response documents to our inquiry concerning the applicant's ability to possess and control the subject properties, it was noticed that the two Condemnation Proceeding documents don't specifically state that the property ownership has been transferred to the Johnson Ranch Municipal Utility District.

Are there any other documents available that show ownership of the property has been transferred to the MUD? We may not be able to approve the application unless we receive documentation showing that the MUD has been granted with the right to possess and control the property in accordance with 30 TAC 213.4(c)(2) which states:

*"only owners, their authorized agent(s), or those persons having the right to possess and control the property that is the subject of the Edwards Aquifer protection plan may submit the plan for review and approval by the executive director."*

Please provide additional documentation that shows the applicant has the ability to possess and control the properties.

**Bowman Response: Please refer to the attached copies of the award, writ of possession, and order granting possession for both parcels that encompass the Johnson ranch MUD Stormwater Channel Improvement Project.**

Please do not hesitate to contact me for any additional clarifications or questions in regards to our submittal.

Thank you in advance for your attention,

Tracy Bratton, P.E.  
Bowman Consulting  
[tbratton@bowmanconsulting.com](mailto:tbratton@bowmanconsulting.com)



NO. 2015-CVB-0054

**FILED**  
At 3:00 O'clock  
APR 20 2015  
BOBBING ROEPP  
Clerk of Court  
Comal Co. Texas

JOHNSON RANCH  
MUNICIPAL UTILITY DISTRICT

*Plaintiff,*

vs.

PATRICIA LUX GRAHAM, et al.

*Defendant.*

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CONDEMNATION PROCEEDING

IN THE COUNTY COURT AT LAW

COMAL COUNTY, TEXAS

**AWARD OF SPECIAL COMMISSIONERS**


WHEREAS, on the 10<sup>th</sup> day of February, 2015, the JOHNSON RANCH MUNICIPAL UTILITY DISTRICT, Plaintiff, filed with the Judge of the County Court at Law of Comal County, Texas, its Original Petition for Condemnation seeking to acquire

fee simple title (surface estate only) to 2.045 acres of land and improvements, if any, out of 52.454 acres out of the A. Gayton Survey No. 194, Abstract No. 174, Comal County, Texas, located in Comal County, Texas, for a public use, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project; said 2.045 acres of land is further described by metes and bounds, as well as plat, in Exhibit "A" attached hereto and incorporated herein by reference (hereinafter referred to as "the Property").

WHEREAS, on the 6<sup>th</sup> day of March, 2015, the Judge, by an Order in writing, did appoint Curtis Bremer, Len Heimer, and Barry Moore, three disinterested real property owners of Comal County, Texas, as Special Commissioners to assess the compensation and damages to the Defendant in the above-styled proceedings occasioned by the acquisition of the Property through condemnation; and

WHEREAS, the said Special Commissioners, having been sworn to assess the compensation and damages to the Defendant in the above-styled proceeding occasioned by the acquisition of the Property through condemnation, fairly and impartially and in accordance with law, met and by an Order in writing set the 20<sup>th</sup> day of April, 2015 at 1:30 o'clock P.M. in the County Court at Law, Comal County Courthouse, 100 Main Plaza, Room 101, in the City of New Braunfels, Texas, as the time, date and place for hearing the parties, such time and place having been considered by us to be the earliest practicable day and as near as practicable to the Property in controversy as well as being at the county seat of the county in which the Property is situated; and

WHEREAS, the Special Commissioners issued an Order and notice of the hearing in writing to Defendant notifying the Defendant of the time, date and place selected for the hearing, which was served in the manner prescribed by law, with the original of such Order having been duly returned and being before us on the date of this hearing; and

WHEREAS, on the 20<sup>th</sup> day of April, 2015 at 1:30 o'clock P.M. and at the place appointed, Plaintiff JOHNSON RANCH MUNICIPAL UTILITY DISTRICT appeared by and through its attorney of record, PAUL D. BARKHURST, and announced ready for hearing; and Defendant PATRICIA LUX GRAHAM, ~~appeared by and through her attorney of record, PATRICK REZNICK, and announced ready for hearing~~ OR did not appear. 

WHEREUPON, we proceeded to hear the evidence, and it appearing to us, and we so find, that the Plaintiff has found and determined the necessity for and has ordered the acquisition through condemnation of the Property, located in Comal County, Texas,



for a public purpose, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project.

AND WHEREUPON, having heard the evidence as to the value of the Property sought to be condemned, we find as follows, according to the rules of damages prescribed by law:

WE, the undersigned Special Commissioners, therefore now do assess the total just compensation which will accrue to the Defendant in this condemnation proceeding as owner of the Property described herein by reason of the taking through this proceeding in condemnation at \$ 40,000.<sup>00</sup>, and such sum is hereby awarded to the Defendant for all purposes, and on the date herein below set forth we have reduced this, our decision in writing.

We further decide and adjudge that all costs of these proceedings, including the cost of service of process, shall be paid by Plaintiff.

SIGNED on this the 20<sup>th</sup> day of April, 2015.

B. D. Moore  
Special Commissioner

Curtis W. Bremer  
Special Commissioner

[Signature]  
Special Commissioner

**ORDER**

The foregoing Award of the Special Commissioners was filed with me this  
21<sup>st</sup> day of April, 2015.

The fees are hereby adjudged as follows:

1. Fees to Special Commissioners

\$ 100 TO CURTIS BREMER

\$ 100 TO LEN HEIMER

\$ 100 TO BARRY MOORE

SIGNED this 21<sup>st</sup> day of April, 2015.

  
JUDGE PRESIDING



**FIELD NOTES DESCRIPTION**

DESCRIPTION OF 2.045 ACRES OF LAND IN THE AGAPITA GAYTAN SURVEY NO. 194, A-174, COMAL COUNTY, TEXAS; BEING A PORTION OF THAT CERTAIN CALLED 52.454 ACRE TRACT DESIGNATED AS TRACT 2 AND DESCRIBED IN EXHIBIT B IN A PARTITION DEED TO PATRICIA GRAHAM OF RECORD IN DOCUMENT NO. 9706015147, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS; SAID 2.045 ACRES OF LAND, AS SURVEYED BY BOWMAN CONSULTING GROUP, LTD. AND SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a calculated point in the east line of a certain called 90.673 acre tract described in a deed to DHJB Development, LLC of record in Document No. 201206015207, Official Public Records of Comal County, Texas, for the southwest corner of the said Graham Tract 2 of 52.454 acres and the northwest corner of a certain called 49.484 acre tract, designated as Tract 4 and described in Exhibit D in a Partition Deed to Margie Hastings of record in said Document No. 9706015147, Official Records of Comal County, Texas, for the southwest corner and **POINT OF BEGINNING** of the tract described herein, from which a 1/2-inch iron rod found bears S 49°58' W, a distance of 0.30 feet, and from which a 3-inch steel pipe fence post found at an angle point in the east line of a certain called 760 acre tract described in a deed to Clyde Johnson & Sons Hereford Ranch, Ltd., of record in Document No. 200006037236, Official Records of Comal County, Texas and further described as 767.25 acres of land in a Petition Requesting Creation of a Water Control and Improvement District recorded in Document No. 200606048369, Official Records of Comal County, Texas and the west line of the said Hastings Tract 4 of 49.484 acres, for the northern southeast corner of the said 90.673 acre tract bears S 00°25'28" E, a distance of 641.38 feet;

**THENCE** N 00°25'28" W, continuing with the east line of the said 90.673 acre tract and the west line of the said Graham Tract 2 of 52.454 acres, with the west line of the tract described herein, a distance of 535.36 feet to a 1/2-inch iron rod found for the easterly northeast corner of the said 90.673 acre tract and the southeast corner of a certain called 32.570 acre tract designated as Tract 1, Exhibit A and described in a deed to DHJB Development, LLC of record in Document No. 201206015248, Official Public Records of Comal County, Texas, for an angle point in the west line of the tract described herein;

**THENCE** with the east line of the said 32.570 acre tract and the west line of the said Graham Tract 2 of 52.454 acres, with the west line of the tract described herein, the following four (4) courses and distances:

1. N 40°51'23" E, a distance of 41.38 feet to a 40d nail found at an angle point,
2. N 15°05'37" W, a distance of 43.14 feet to a 1/2-inch iron rod with a plastic cap stamped "MW Cude" found for an angle point,
3. N 02°32'33" W, a distance of 82.39 feet to a 1/2-inch iron rod found for an angle point, and
4. N 00°16'53" W, a distance of 15.25 feet to a 3-inch steel pipe fence post for the northwest corner of the tract described herein, from which a 1/2-inch iron rod found in the west line of the said Graham Tract 2 of 52.454 acres and the east line of the said 32.570 acre tract bears N 02°30'59" E, a distance of 65.35 feet;

**THENCE** leaving the east line of the said 32.570 acre tract, crossing the said Graham Tract 2 of 52.454 acres, with the north and east lines of the tract described herein, the following two (2) courses and distances:

1. S 87°29'01" E, a distance of 129.46 feet to a calculated point for the northeast corner of the tract described herein, and
2. S 00°25'28" E, a distance of 581.10 feet to a calculated point in the south line of the said Graham Tract 2 of 52.454 acres and the north line of the said Hastings Tract 4 of 49.484 acres, from which a 1/2-inch iron rod found at an angle point in the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.484 acres bears N 49°58'22" E, a distance of 1199.30 feet;



2.045 Acres  
Agapita Gaytan Survey No. 194, A-174  
Comal County, Texas

Job-5522-01-001  
FN1624(en)  
Page 2 of 4

THENCE S 49°58'22" W, with the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres, with the south line of the tract described herein, a distance of 185.16 feet to the POINT OF BEGINNING and containing 2.045 acres of land more or less.

BEARING BASIS: Texas Coordinate System, NAD 83, South Central Zone, Grid.

BOWMAN WORD FILE: FN1624(en)

H:\Survey\FieldNotes\FN-1600s\FN1624(en).doc

THE STATE OF TEXAS  
COUNTY OF TRAVIS

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KNOW ALL MEN BY THESE PRESENTS

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying survey map is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground during the month of May 2014, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, on this 16<sup>TH</sup> of July, 2014 A.D.

Bowman Consulting Group, Ltd.  
Austin, Texas 78746



  
John D. Barnard  
Registered Professional Land Surveyor No. 5749  
State of Texas



(23.51 ACRES) ROFR  
PROPERTY  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOCUMENT NO.  
200006037239.  
O.P.R.C.C.TX.  
DESCRIBED IN  
MEMORANDUM OF  
OPTION CONTRACT  
DOCUMENT NO.  
200506030256,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, JOHNSON WAY  
DOC. NO. 201406013064  
O.P.R.C.C.TX.

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, PHASE 1  
DOC. NO. 201306040707  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
PHASE 1  
DOC. NO. 200706047082  
O.P.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

REMAINDER [32.570 ACRES]  
TRACT 1, EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015248,  
O.P.R.C.C.TX.

1/2" IRON ROD FOUND  
AT EAST BASE OF A  
5" CEDAR FENCE POST  
IN OLD WIRE FENCE REMAINS

[52.454 ACRES]  
TRACT 2, EXHIBIT B  
PATRICIA LUX GRAHAM  
DOC. NO. 9706015147,  
O.R.C.C.TX.

[N 50°21'24" E 1384.82']  
[N 49°58'22" E 1384.46']  
[N 49°58'22" E 1199.50']

1/2" IRON  
ROD FOUND BEARS:  
S48°56'W, 0.30'

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

SEE PAGE 4 OF 4 FOR LEGEND,  
NOTES, AND LINE TABLE.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
5101 One Care Plaza, Suite 100, Austin, Texas 78748  
Phone: (512) 287-1100 Fax: (512) 287-0202  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TYPE Firm No. F-14809 | TPLS Firm No. 101206-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1624



# **LEGEND**

- 1/2" IRON ROD FOUND  
UNLESS OTHERWISE NOTED
- CUDE ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "MW CUDE" FOUND
- LAI ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "LAI" PREVIOUSLY SET
- ▲ 40d NAIL FOUND
- ⊙ 3-INCH STEEL PIPE FENCE POST
- △ CALCULATED POINT
- < > RECORD INFORMATION PER  
DOC. NO. 200706048903  
O.R.C.C.TX.
- { } RECORD INFORMATION PER  
DOC. NO. 200606048369  
O.R.C.C.TX.
- [ ] RECORD INFORMATION PER  
DOC. NO. 9706015147 O.R.C.C.TX.
- O.R.C.C.TX. OFFICIAL RECORDS OF COMAL  
COUNTY, TEXAS
- O.P.R.C.C.TX. OFFICIAL PUBLIC RECORDS OF  
COMAL COUNTY, TEXAS
- ..... DEED LINE

## **LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N 40°51'23" E	41.36'
{L1}	{S 41°24'00" W}	{41.45'}
{L1}	{N 41°11'33" E}	{41.49'}
L2	N 15°05'37" W	43.14'
{L2}	{S 14°27'00" E}	{42.49'}
{L2}	{N 14°39'24" W}	{42.49'}
L3	N 02°32'33" W	82.39'
{L3}	{S 02°32'33" E}	{82.39'}
{L3}	{N 02°13'45" W}	{82.93'}
L4	N 00°16'53" W	15.25'
{L4}	{S 01°39'29" W}	{15.38'}
{L4}	{N 00°12'31" E}	{15.51'}
L5	S 87°29'01" E	129.46'
L6	S 49°58'22" W	185.16'
L7	N 02°30'59" E	55.35'
{L7}	{S 02°34'40" W}	{55.25'}
{L7}	{N 02°46'27" E}	{55.30'}

### **NOTES:**

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83, GRID
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.99984.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
5101 New Court Road, Suite 100, Austin, Texas 78724  
Phone (512) 887-1188 Fax (512) 887-4582  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TYPE Form No. F-14308 | TEMPL Form No. 101206-01

**EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1624**

NO. 2015-CVB-0056

**FILED**  
At 3:00 O'clock PM  
APR 20 2015  
BOBBE KOEPP  
County Clerk, Comal Co., Texas  
*[Signature]*

JOHNSON RANCH  
MUNICIPAL UTILITY DISTRICT

*Plaintiff,*

vs.

MARGIE HASTINGS, et al.

*Defendant.*

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CONDEMNATION PROCEEDING

IN THE COUNTY COURT AT LAW

COMAL COUNTY, TEXAS

**AWARD OF SPECIAL COMMISSIONERS**


WHEREAS, on the 10<sup>th</sup> day of February, 2015, the JOHNSON RANCH MUNICIPAL UTILITY DISTRICT, Plaintiff, filed with the Judge of the County Court at Law of Comal County, Texas, its Original Petition for Condemnation seeking to acquire fee simple title (surface estate only) to 5.738 acres of land and improvements, if any, out of 49.464 acres out of the A. Gayton Survey No. 194, Abstract No. 174, Comal County, Texas, located in Comal County, Texas, for a public use, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project; said 5.738 acres of land is further described by metes and bounds, as well as plat, in Exhibit "A" attached hereto and incorporated herein by reference (hereinafter referred to as "the Property").

WHEREAS, on the 6<sup>th</sup> day of March, 2015, the Judge, by an Order in writing, did appoint Curtis Bremer, Len Heimer, and Barry Moore, three disinterested real property owners of Comal County, Texas, as Special Commissioners to assess the compensation and damages to the Defendant in the above-styled proceedings occasioned by the acquisition of the Property through condemnation; and



WHEREAS, the said Special Commissioners, having been sworn to assess the compensation and damages to the Defendant in the above-styled proceeding occasioned by the acquisition of the Property through condemnation, fairly and impartially and in accordance with law, met and by an Order in writing set the 20<sup>th</sup> day of April, 2015 at 9:00 o'clock A.M. in the County Court at Law, Comal County Courthouse, 100 Main Plaza, Room 101, in the City of New Braunfels, Texas, as the time, date and place for hearing the parties, such time and place having been considered by us to be the earliest practicable day and as near as practicable to the Property in controversy as well as being at the county seat of the county in which the Property is situated; and

WHEREAS, the Special Commissioners issued an Order and notice of the hearing in writing to Defendant notifying the Defendant of the time, date and place selected for the hearing, which was served in the manner prescribed by law, with the original of such Order having been duly returned and being before us on the date of this hearing; and

WHEREAS, on the 20<sup>th</sup> day of April, 2015 at 9:00 o'clock A.M. and at the place appointed, Plaintiff JOHNSON RANCH MUNICIPAL UTILITY DISTRICT appeared by and through its attorney of record, PAUL D. BARKHURST, and announced ready for hearing; and Defendant MARGIE HASTINGS, ~~appeared by and through her attorney of record, PATRICK REZNICK, and announced ready for hearing~~ OR did not appear. 

WHEREUPON, we proceeded to hear the evidence, and it appearing to us, and we so find, that the Plaintiff has found and determined the necessity for and has ordered the acquisition through condemnation of the Property, located in Comal County, Texas,



for a public purpose, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project.

AND WHEREUPON, having heard the evidence as to the value of the Property sought to be condemned, we find as follows, according to the rules of damages prescribed by law:

WE, the undersigned Special Commissioners, therefore now do assess the total just compensation which will accrue to the Defendant in this condemnation proceeding as owner of the Property described herein by reason of the taking through this proceeding in condemnation at \$ 118,000.<sup>00</sup>, and such sum is hereby awarded to the Defendant for all purposes, and on the date herein below set forth we have reduced this, our decision in writing.

We further decide and adjudge that all costs of these proceedings, including the cost of service of process, shall be paid by Plaintiff.

SIGNED on this the 20<sup>th</sup> day of April, 2015.

B. J. Moore  
Special Commissioner

Curtis W. Bremer  
Special Commissioner

A. H.  
Special Commissioner

ORDER

The foregoing Award of the Special Commissioners was filed with me this  
20<sup>th</sup> day of APRIL, 2015.

The fees are hereby adjudged as follows:

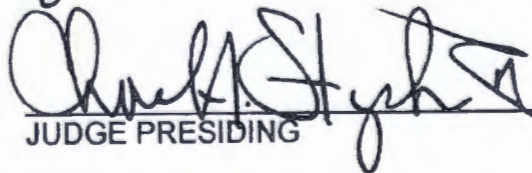
1. Fees to Special Commissioners

\$ 350 TO CURTIS BREMER

\$ 380 TO LEN HEIMER

\$ 350 TO BARRY MOORE

SIGNED this 20<sup>th</sup> day of April, 2015.

  
JUDGE PRESIDING

**FIELD NOTES DESCRIPTION**

DESCRIPTION OF 5.738 ACRES OF LAND IN THE AGAPITA GAYTAN SURVEY NO. 194, A-174, COMAL COUNTY, TEXAS; BEING A PORTION OF A CERTAIN CALLED 49.464 ACRE TRACT, DESIGNATED AS TRACT 4 AND DESCRIBED IN EXHIBIT D IN A PARTITION DEED TO MARGIE HASTINGS OF RECORD IN DOCUMENT NO. 9706015147, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS; SAID 5.738 ACRES OF LAND, AS SURVEYED BY BOWMAN CONSULTING GROUP, LTD. AND SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a 1/2-inch iron rod with cap stamped "MW Cude" found in the north right-of-way line of F.M. Highway No. 1863, at the southwest corner of the said Hastings Tract 4 of 49.464 acres and the southeast corner of a certain called 760 acre tract described in a deed to Clyde Johnson & Sons Hereford Ranch, Ltd., of record in Document No. 200006037239, Official Records of Comal County, Texas and further described as 767.25 acres of land in a Petition Requesting Creation of a Water Control and Improvement District recorded in Document No. 200606048369, Official Records of Comal County, Texas, and for the southern southeast corner of a certain called 90.673 acre tract described in a deed to DHJB Development, LLC of record in Document No. 201206015207, Official Public Records of Comal County, Texas, for the southwest corner and **POINT OF BEGINNING** of the tract described herein, from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set in the north right-of-way line of said F.M. Highway No. 1863 for a point in south line of the said 90.673 acre tract bears S 55°33'09" W, a distance of 793.55 feet;

**THENCE** N 01°15'22" W, leaving the north right-of-way line of said F.M. Highway No. 1863, with the east line of the said 90.673 acre tract and the said 760 acre tract, with the west line of the said Hastings Tract 4 of 49.464 acres and with the west line of the tract described herein, a distance of 59.74 feet to a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for the southern northeast corner of the said 90.673 acre tract, for a point in the west line of the tract described herein, from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for a re-entrant corner of the said 90.673 acre tract bears S 55°33'19" W, a distance of 855.59 feet;

**THENCE** with the east line of the said 760 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, with the west line of the tract described herein, the following six (6) courses and distances:

1. N 01°15'22" W, a distance of 596.78 feet to a 1/2-inch iron rod with a plastic cap stamped "MW Cude" found at an angle point,
2. N 88°14'49" E, a distance of 11.33 feet to a 3-inch steel pipe fence post found at an angle point,
3. N 00°29'37" E, a distance of 53.59 feet to a 40d nail found at an angle point,
4. N 20°43'33" E, a distance of 27.42 feet to a 3-inch steel pipe fence post found at an angle point,
5. N 03°31'10" W, a distance of 254.94 feet to a 3-inch steel pipe fence post found at a re-entrant corner, and
6. N 89°01'28" W, a distance of 16.44 feet to a 3-inch steel pipe fence post found at an angle point in the east line of the said 760 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, for the northern southeast corner of the said 90.673 acre tract and for an angle point in the west line of the tract described herein, from which a mag-nail found bears S 47°18' W, a distance of 0.45 feet, and from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for a point of curvature and a re-entrant corner of the said 90.673 acre tract bears N 89°54'23" W, a distance of 777.08 feet;

**THENCE** N 00°25'28" W, with the east line of the said 90.673 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, with the west line of the tract described herein, a distance of 641.38 feet to a calculated point for the northwest corner of the said Hastings Tract 4 of 49.464 acres and the southwest corner of a certain called 52.454 acre tract designated as Tract 2 and described in Exhibit B in a Partition Deed to Patricia Graham of record in said Document No. 9706015147, Official Records of Comal County, Texas, for the northwest corner of the tract described herein, from which a 1/2-inch iron rod found bears





S 49°58' W, a distance of 0.30 feet, and from which a 1/2-inch iron rod found for the easterly northeast corner of the said 90.673 acre tract and the southeast corner of a certain called 32.570 acre tract designated as Tract 1, Exhibit A and described in a deed to DHJB Development, LLC of record in Document No. 201208015248, Official Public Records of Comal County, Texas bears N 00°25'28" W, a distance of 535.36 feet;

THENCE N 49°58'22" E, leaving the east line of the said 90.673 acre tract, with the northwest line of the said Hastings Tract 4 of 49.464 acres and the southeast line of the said Graham Tract 2 of 52.454 acres, with the north line of the tract described herein, a distance of 144.23 feet to a calculated point, for the northeast corner of the tract described herein, from which a 1/2-inch iron rod found at an angle point in the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres bears N 49°58'22" E, a distance of 1240.23 feet;

THENCE leaving the southeast line of the said Graham Tract 2 of 52.454 acres, crossing the said Hastings Tract 4 of 49.464 acres, with the east lines of the tract described herein, the following five (5) courses and distances:

1. S 00°25'28" E, a distance of 1024.93 feet to a calculated angle point,
2. S 27°30'34" E, a distance of 364.27 feet to a calculated angle point,
3. S 01°15'22" E, a distance of 134.34 feet to a calculated re-entrant corner of the tract described herein,
4. with the arc of a curve to the right, having a radius of 1950.10 feet, an arc distance of 175.93 feet, and a chord that bears N 64°11'37" E, a distance of 175.87 feet to a calculated point for the southerly northeast corner of the tract described herein, and
5. S 22°49'09" E, a distance of 85.44 feet to a calculated point in the curving north right-of-way line of said F.M. Highway 1863 and the curving south line of the said Hastings Tract 4 of 49.464 acres, for the easterly southeast corner of the tract described herein, from which a TXDOT Type I concrete monument found in the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres for a point-of-tangency in the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres bears with the arc of a curve to the right, having a radius of 1950.10 feet, an arc distance of 461.07 feet, and a chord that bears N 73°33'05" E a distance of 459.99 feet;

THENCE with the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres, with the south line of the tract described herein, the following two (2) courses and distances:

1. with the arc of a curve to the left, having a radius of 1950.10 feet, an arc distance of 382.60 feet, and a chord that bears S 61°09'27" W, a distance of 381.99 feet to a TXDOT Type I concrete monument found for a point-of-tangency, and
2. S 55°33'09" W, a distance of 131.70 feet to the POINT OF BEGINNING and containing 5.738 acres of land more or less.

BEARING BASIS: Texas Coordinate System, NAD 83, South Central Zone, Grid.

BOWMAN WORD FILE: FN1623(en)

H:\Survey\FieldNotes\FN-1600s\FN1623(en).doc

5.738 Acres  
Agapita Gaytan Survey No. 194, A-174  
Comal County, Texas

Job-5522-01-001  
FN1623(en)  
Page 3 of 6

THE STATE OF TEXAS

§  
§  
§

KNOW ALL MEN BY THESE PRESENTS


COUNTY OF TRAVIS

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying survey map is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground during the month of May 2014, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, on this 16<sup>TH</sup> of July, 2014 A.D.

Bowman Consulting Group, Ltd.  
Austin, Texas 78746



  
John D. Barnard  
Registered Professional Land Surveyor No. 5749  
State of Texas



GAYTAN  
O. 194

PAGE 5 OF 6  
PAGE 4 OF 6

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

3" IRON PIPE FENCE POST;  
MAG-NAIL FOUND IN CONCRETE  
BEARS: S 47°18' W, 0.45'

N 89°54'23" W 777.08'  
<N 89°54'15" W>  
<777.08'>

REMAINDER (760 ACRES)  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOC. # 200006037239  
O.R.C.C.TX.

AND FURTHER DESCRIBED AS  
767.25 ACRES  
PETITION REQUESTING CREATION  
OF A WATER CONTROL & IMPROVEMENT  
DISTRICT  
DOC. # 200606048369  
O.R.C.C.TX.

656.60'  
655.27'  
656.52'

S 00°44'23" E  
[N 00°54'38" W  
<S 1°15'25" E

<586.78'>

P.O.B. CUDE

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

S 00°25'28" E 1024.83'

[N 00°01'48" W 640.80']  
[N 00°25'28" W 641.38']

[N 03°31'10" W 254.94']  
[S 03°08'03" W 254.98']  
[S 02°59'00" E 254.90']

5.738 ACRES

S 87°30'34" E  
364.27'

F.M. HIGHWAY NO. 1863  
(80' R.O.W.)

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

SEE PAGE 6 OF 6 FOR LEGEND,  
NOTES, AND LINE AND CURVE  
TABLES.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
8701 West Loop West, Suite 100, Austin, Texas 78748  
Phone: (512) 327-1700 Fax: (512) 327-4000  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TSPE Firm No. F-14308 | TSPS Firm No. 101208-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623



(23.51 ACRES) ROFR  
PROPERTY  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.

DOCUMENT NO.  
200006037239,  
O.P.R.C.C.TX.  
DESCRIBED IN  
MEMORANDUM OF  
OPTION CONTRACT  
DOCUMENT NO.  
200506030256,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, JOHNSON WAY  
DOC. NO. 201408013064  
O.P.R.C.C.TX.

REMAINDER [32.570 ACRES]  
TRACT 1, EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015248,  
O.P.R.C.C.TX.

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, PHASE 1  
DOC. NO. 201306040707  
O.P.R.C.C.TX.

[52.454 ACRES]  
TRACT 2, EXHIBIT B  
PATRICIA LUX GRAHAM  
DOC. NO. 9706015147,  
O.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
PHASE 1  
DOC. NO. 200706047082  
O.P.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

PAGE 5 OF 6  
PAGE 4 OF 6

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

SEE PAGE 6 OF 6 FOR LEGEND,  
NOTES, AND LINE AND CURVE  
TABLES.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
9101 New Open Road, Suite 100, Austin, Texas 78746  
Phone: (512) 357-1180 Fax: (512) 357-0052  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TEPE Firm No. E-14308 | TEPLE Firm No. 101208-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623

FILE: H:\Survey\Johnson Ranch\Work\Field Note Sketches\FN1623\_Hastings D.E.dwg  
DATE: Jul 16, 2014-9:14am

PAGE 5 OF 6

# **LEGEND**

- 1/2" IRON ROD FOUND  
UNLESS OTHERWISE NOTED
- CUDE ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "MW CUDE" FOUND
- LAI ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "LAI" PREVIOUSLY SET
- ▲ 40d NAIL FOUND
- TXDOT TYPE I CONCRETE  
MONUMENT FOUND
- ⊙ 3 INCH STEEL PIPE FENCE POST
- △ CALCULATED POINT
- < > RECORD INFORMATION PER  
DOC. NO. 200706046903  
O.R.C.C.TX.
- { } RECORD INFORMATION PER  
DOC. NO. 200806048369  
O.R.C.C.TX.
- [ ] RECORD INFORMATION PER  
DOC. NO. 9706015147  
O.R.C.C.TX.
- O.R.C.C.TX. OFFICIAL RECORDS OF COMAL  
COUNTY, TEXAS
- O.P.R.C.C.TX. OFFICIAL PUBLIC RECORDS OF  
COMAL COUNTY, TEXAS
- ..... DEED LINE

## **NOTES:**

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH  
CENTRAL ZONE, NAD 83, GRID

2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE  
MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID,  
MULTIPLY BY THE COMBINED SCALE FACTOR.

3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS  
0.99984.

## **LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N 01°15'22" W	59.74'
<L1>	<S 01°15'25" E>	<59.75>
L2	N 88°14'49" E	11.33'
<L2>	<S 88°13'14" W>	<11.32>
{L2}	{S 82°50'52" W}	{11.15'}
{L2}	{N 82°36'08" E}	{11.15'}
L3	N 00°29'37" E	53.59'
<L3>	<S 00°30'26" W>	<53.58>
{L3}	{S 01°28'41" W}	{52.36'}
{L3}	{N 01°13'57" E}	{52.36'}
L4	N 20°43'33" E	27.42'
{L4}	{N 21°01'12" E}	{27.31'}
L5	N 89°01'28" W	16.44'
<L5>	<S 89°09'04" E>	<16.86>
{L5}	{S 89°30'00" E}	{16.84'}
{L5}	{N 88°54'10" W}	{16.54'}
L6	N 49°58'22" E	144.23'
L7	S 01°15'22" E	134.34'
L8	S 22°49'09" E	65.44'
L9	S 55°33'09" W	131.70'
L10	S 55°33'09" W	793.55'
L11	S 55°33'09" W	384.42'

## **CURVE TABLE**

CURVE #	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE
C1	1950.10'	175.93'	N 64°11'37" E	175.87'
C2	1950.10'	362.60'	S 61°09'27" W	361.99'
C3	1950.10'	461.07'	N 73°33'05" E	459.99'
	[1950.10']		[S 66°19'48" W]	[836.98']

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
3301 Red Cove Road, Suite 100, Austin, Texas 78746  
Phone: (512) 357-1199 Fax: (512) 357-4882  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TDPS Firm No. F-14309 | TDPS Firm No. 101208-00

**EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623**

FILE: H:\Survey\Johnson Ranch\Work\Field Note Sketches\FN1623\_Hastings D.E.dwg  
DATE: Jul 16, 2014--9:14am

**PAGE 6 OF 6**



NO. 2015-CVB-0054

JOHNSON RANCH  
MUNICIPAL UTILITY DISTRICT

*Plaintiff,*

vs.

PATRICIA LUX GRAHAM, et al.

*Defendant.*

§  
§  
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§  
§  
§

CONDEMNATION PROCEEDING

IN THE COUNTY COURT AT LAW

COMAL COUNTY, TEXAS

FILED FOR RECORD  
2015 JUL 31 PM 3:32  
BOBBIE KOEPP  
COUNTY CLERK COMAL COUNTY  
BY \_\_\_\_\_

ORDER GRANTING POSSESSION

The Court, having reviewed the Court's file and the Notice of Deposit, filed with the Court on the 21<sup>st</sup> day of April, 2015, and being fully advised in the premises, and having heard arguments of counsel and reviewing the law, hereby approves the contents of said Notice of Deposit and hereby makes the following order:

The Court hereby makes the following findings:

- a) Plaintiff, Johnson Ranch Municipal Utility District, has complied with Tex. Prop. Code Section 21.021, by paying into the registry of the Court the full Award of the Special Commissioners in the Amount of \$40,000.00, subject to the order of Defendants.
- b) Plaintiff, Johnson Ranch Municipal Utility District, has paid all costs adjudged against it in this proceeding.

IT IS THEREFORE ORDERED AND ADJUDGED that in compliance with Section 21.021 of the Property Code, Plaintiff is authorized to take immediate possession of Defendant, Patricia Lux Graham's property sought to be condemned in this proceeding as more fully described in Exhibit "A" attached hereto and made a part hereof by reference.

A new writ of possession immediately issue in Plaintiff, Johnson Ranch Municipal Utility District's favor commanding the sheriff of this county or any constable within Texas: (a) to seize the property from Defendant, Patricia Lux Graham within seven (7) days of the signing of this order; (b) to remove Defendant, Patricia Lux Graham and of any person who might claim through her since the filing of this proceeding, together with their personalty; (c) to delivery of possession of the property to Plaintiff, Johnson Ranch Municipal Utility District; and (d) to make return of the writ, showing its due execution.

SIGNED this the 31 day of July, 2015.

Original Signed By  
CHARLES A. STEPHENS II

Judge Presiding

APPROVED AND ENTRY REQUESTED:

BARKHURST & HINOJOSA, P.C.

/s/ Paul D. Barkhurst

PAUL D. BARKHURST

State Bar No. 00790266

110 Broadway, Suite 350

San Antonio, Texas 78205

ATTORNEY FOR PLAINTIFF

JOHNSON RANCH MUNICIPAL UTILITY DISTRICT

APPROVED AS TO FORM:

BRAUN & GRESHAM



Cassie Gresham

State Bar No. 24045980

Patrick Reznik

State Bar No. 16806780

P.O. Box 1148

Dripping Springs, Texas 78620

Phone: 512-894-5426

Fax: 512-894-3405

ATTORNEY FOR DEFENDANT



**FIELD NOTES DESCRIPTION**

DESCRIPTION OF 2.045 ACRES OF LAND IN THE AGAPITA GAYTAN SURVEY NO. 194, A-174, COMAL COUNTY, TEXAS; BEING A PORTION OF THAT CERTAIN CALLED 52.454 ACRE TRACT DESIGNATED AS TRACT 2 AND DESCRIBED IN EXHIBIT B IN A PARTITION DEED TO PATRICIA GRAHAM OF RECORD IN DOCUMENT NO. 9706015147, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS; SAID 2.045 ACRES OF LAND, AS SURVEYED BY BOWMAN CONSULTING GROUP, LTD. AND SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a calculated point in the east line of a certain called 90.673 acre tract described in a deed to DHJB Development, LLC of record in Document No. 201206015207, Official Public Records of Comal County, Texas, for the southwest corner of the said Graham Tract 2 of 52.454 acres and the northwest corner of a certain called 49.464 acre tract, designated as Tract 4 and described in Exhibit D in a Partition Deed to Margie Hastings of record in said Document No. 9706015147, Official Records of Comal County, Texas, for the southwest corner and **POINT OF BEGINNING** of the tract described herein, from which a 1/2-inch iron rod found bears S 49°58' W, a distance of 0.30 feet, and from which a 3-inch steel pipe fence post found at an angle point in the east line of a certain called 780 acre tract described in a deed to Clyde Johnson & Sons Hereford Ranch, Ltd., of record in Document No. 200006037239, Official Records of Comal County, Texas and further described as 767.25 acres of land in a Petition Requesting Creation of a Water Control and Improvement District recorded in Document No. 200606048369, Official Records of Comal County, Texas and the west line of the said Hastings Tract 4 of 49.464 acres, for the northern southeast corner of the said 90.673 acre tract bears S 00°25'28" E, a distance of 641.38 feet;

**THENCE** N 00°25'28" W, continuing with the east line of the said 90.673 acre tract and the west line of the said Graham Tract 2 of 52.454 acres, with the west line of the tract described herein, a distance of 535.36 feet to a 1/2-inch iron rod found for the easterly northeast corner of the said 90.673 acre tract and the southeast corner of a certain called 32.570 acre tract designated as Tract 1, Exhibit A and described in a deed to DHJB Development, LLC of record in Document No. 201206015248, Official Public Records of Comal County, Texas, for an angle point in the west line of the tract described herein;

**THENCE** with the east line of the said 32.570 acre tract and the west line of the said Graham Tract 2 of 52.454 acres, with the west line of the tract described herein, the following four (4) courses and distances:

1. N 40°51'23" E, a distance of 41.38 feet to a 40d nail found at an angle point,
2. N 15°05'37" W, a distance of 43.14 feet to a 1/2-inch iron rod with a plastic cap stamped "MW Cude" found for an angle point,
3. N 02°32'33" W, a distance of 82.39 feet to a 1/2-inch iron rod found for an angle point, and
4. N 00°16'53" W, a distance of 15.25 feet to a 3-inch steel pipe fence post for the northwest corner of the tract described herein, from which a 1/2-inch iron rod found in the west line of the said Graham Tract 2 of 52.454 acres and the east line of the said 32.570 acre tract bears N 02°30'59" E, a distance of 55.35 feet;

**THENCE** leaving the east line of the said 32.570 acre tract, crossing the said Graham Tract 2 of 52.454 acres, with the north and east lines of the tract described herein, the following two (2) courses and distances:

1. S 87°29'01" E, a distance of 129.46 feet to a calculated point for the northeast corner of the tract described herein, and
2. S 00°25'28" E, a distance of 581.10 feet to a calculated point in the south line of the said Graham Tract 2 of 52.454 acres and the north line of the said Hastings Tract 4 of 49.464 acres, from which a 1/2-inch iron rod found at an angle point in the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres bears N 49°58'22" E, a distance of 1199.30 feet;

EXH. "A"

2.045 Acres  
Agapita Gaytan Survey No. 194, A-174  
Comal County, Texas

Job-5522-01-001  
FN1624(en)  
Page 2 of 4

THENCE S 49°58'22" W, with the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres, with the south line of the tract described herein, a distance of 185.16 feet to the POINT OF BEGINNING and containing 2.045 acres of land more or less.

BEARING BASIS: Texas Coordinate System, NAD 83, South Central Zone, Grid.

BOWMAN WORD FILE: FN1624(en)

H:\Survey\\_FieldNotes\FN-1600s\FN1624(en).doc

THE STATE OF TEXAS

§  
§  
§

KNOW ALL MEN BY THESE PRESENTS


COUNTY OF TRAVIS

That I, John D. Bamard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying survey map is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground during the month of May 2014, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, on this 16<sup>TH</sup> of July, 2014 A.D.

Bowman Consulting Group, Ltd.  
Austin, Texas 78746



  
John D. Bamard  
Registered Professional Land Surveyor No. 5749  
State of Texas



(23.51 ACRES) ROFR  
PROPERTY  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOCUMENT NO.  
200006037239,  
O.P.R.C.C.TX.  
DESCRIBED IN  
MEMORANDUM OF  
OPTION CONTRACT  
DOCUMENT NO.  
200506030256,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, JOHNSON WAY  
DOC. NO. 201406013064  
O.P.R.C.C.TX.

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, PHASE 1  
DOC. NO. 201306040707  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
PHASE 1  
DOC. NO. 200706047082  
O.P.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

REMAINDER [32.570 ACRES]  
TRACT 1, EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015248,  
O.P.R.C.C.TX.

1/2" IRON ROD FOUND  
AT EAST BASE OF A  
5" CEDAR FENCE POST  
IN OLD WIRE FENCE REMAINS

[52.454 ACRES]  
TRACT 2, EXHIBIT B  
PATRICIA LUX GRAHAM  
DOC. NO. 9706015147,  
O.R.C.C.TX.

[N 50°21'24" E 1384.82']  
[N 49°58'22" E 1384.46']  
[N 49°58'22" E 1199.30']

2.045 ACRES

1/2" IRON  
ROD FOUND BEARS:  
S49°58'W, 0.30'

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

SEE PAGE 4 OF 4 FOR LEGEND,  
NOTES, AND LINE TABLE.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
9101 Elm Cove Road, Suite 100, Austin, Texas 78746  
Phone: (512) 327-1180 Fax: (512) 327-4082  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TBPE Firm No. F-14309 | TBPLS Firm No. 101208-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1624

# **LEGEND**

- 1/2" IRON ROD FOUND  
UNLESS OTHERWISE NOTED
- CUDE ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "MW CUDE" FOUND
- LAI ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "LAI" PREVIOUSLY SET
- ▲ 40d NAIL FOUND
- ⊙ 3-INCH STEEL PIPE FENCE POST
- △ CALCULATED POINT
- < > RECORD INFORMATION PER  
DOC. NO. 200706046903  
O.R.C.C.TX.
- { } RECORD INFORMATION PER  
DOC. NO. 200606048369  
O.R.C.C.TX.
- [ ] RECORD INFORMATION PER  
DOC. NO. 9706015147 O.R.C.C.TX.
- O.R.C.C.TX. OFFICIAL RECORDS OF COMAL  
COUNTY, TEXAS
- O.P.R.C.C.TX. OFFICIAL PUBLIC RECORDS OF  
COMAL COUNTY, TEXAS
- ..... DEED LINE

## **LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N 40°51'23" E	41.38'
{L1}	{S 41°24'00" W}	{41.45'}
[L1]	[N 41°11'33" E]	[41.49']
L2	N 15°05'37" W	43.14'
{L2}	{S 14°27'00" E}	{42.49'}
[L2]	[N 14°39'24" W]	[42.49']
L3	N 02°32'33" W	82.39'
{L3}	{S 02°32'33" E}	{82.39'}
[L3]	[N 02°13'45" W]	[82.93']
L4	N 00°16'53" W	15.25'
{L4}	{S 01°39'29" W}	{15.38'}
[L4]	[N 00°12'31" E]	[15.51']
L6	S 87°29'01" E	129.46'
L6	S 49°58'22" W	185.16'
L7	N 02°30'59" E	55.35'
{L7}	{S 02°34'40" W}	{55.25'}
[L7]	[N 02°46'27" E]	[55.30']

### **NOTES:**

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83, GRID
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.99984.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
5161 Bos Core Road, Suite 100, Austin, Texas 78746  
Phone: (512) 327-1780 Fax: (512) 327-4862  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TBPE Firm No. F-14308 | TBPLS Firm No. 101208-00

**EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1624**

JOHNSON RANCH  
MUNICIPAL UTILITY DISTRICT

*Plaintiff,*

vs.

MARGIE HASTINGS, et al.

*Defendant.*

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§  
§

CONDEMNATION PROCEEDING

IN THE COUNTY COURT AT LAW

COMAL COUNTY, TEXAS

FILED FOR RECORD  
2015 JUL 31 PM 3:32  
ROBBIE KOEPP  
CLERK COMAL COUNTY  
BY

**ORDER GRANTING POSSESSION**

The Court, having reviewed the Court's file and the Notice of Deposit, filed with the Court on the 21<sup>st</sup> day of April, 2015, and being fully advised in the premises, and having heard arguments of counsel and reviewing the law, hereby approves the contents of said Notice of Deposit and hereby makes the following order:

The Court hereby makes the following findings:

a) Plaintiff, Johnson Ranch Municipal Utility District, has complied with Tex. Prop. Code Section 21.021, by paying into the registry of the Court the full Award of the Special Commissioners in the Amount of \$118,000.00, subject to the order of Defendants.

b) Plaintiff, Johnson Ranch Municipal Utility District, has paid all costs adjudged against it in this proceeding.

IT IS THEREFORE ORDERED AND ADJUDGED that in compliance with Section 21.021 of the Property Code, Plaintiff is authorized to take immediate possession of the Defendant, Margie Hasting's property sought to be condemned in this proceeding as more fully described in Exhibit "A" attached hereto and made a part hereof by reference.

A new writ of possession immediately issue to Plaintiff, Johnson Ranch Municipal Utility District's favor commanding the sheriff of this county or any constable within Texas: (a) to seize the property from Defendant, Margie Hastings within seven (7) days of the signing of this order; (b) to remove Defendant, Margie Hastings, and any person that might claim through her since the filing of this proceeding, together with their personalty; (c) to deliver possession of the property to Plaintiff, Johnson Ranch Municipal Utility District; and (d) to make return of the writ, showing its due execution.



SIGNED this the 31 day of July, 2015.

Original Signed By  
CHARLES A. STEPHENS II

\_\_\_\_\_  
Judge Presiding

APPROVED AND ENTRY REQUESTED:

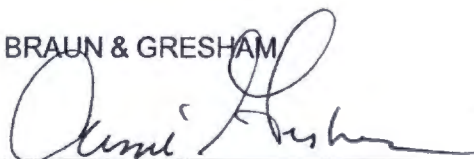
BARKHURST & HINOJOSA, P.C.

/s/ Paul D. Barkhurst  
PAUL D. BARKHURST  
State Bar No. 00790266  
110 Broadway, Suite 350  
San Antonio, Texas 78205

ATTORNEY FOR PLAINTIFF  
JOHNSON RANCH MUNICIPAL UTILITY DISTRICT

APPROVED AS TO FORM:

BRAUN & GRESHAM

  
Cassie Gresham  
State Bar No. 24045980  
Patrick Reznik  
State Bar No. 16806780  
P.O. Box 1148  
Dripping Springs, Texas 78620  
Phone: 512-894-5426  
Fax: 512-894-3405

ATTORNEY FOR DEFENDANT

#### FIELD NOTES DESCRIPTION

DESCRIPTION OF 5.738 ACRES OF LAND IN THE AGAPITA GAYTAN SURVEY NO. 194, A-174, COMAL COUNTY, TEXAS; BEING A PORTION OF A CERTAIN CALLED 49.464 ACRE TRACT, DESIGNATED AS TRACT 4 AND DESCRIBED IN EXHIBIT D IN A PARTITION DEED TO MARGIE HASTINGS OF RECORD IN DOCUMENT NO. 9706015147, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS; SAID 5.738 ACRES OF LAND, AS SURVEYED BY BOWMAN CONSULTING GROUP, LTD. AND SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a 1/2-inch iron rod with cap stamped "MW Cude" found in the north right-of-way line of F.M. Highway No. 1863, at the southwest corner of the said Hastings Tract 4 of 49.464 acres and the southeast corner of a certain called 760 acre tract described in a deed to Clyde Johnson & Sons Hereford Ranch, Ltd., of record in Document No. 200006037239, Official Records of Comal County, Texas and further described as 767.25 acres of land in a Petition Requesting Creation of a Water Control and Improvement District recorded in Document No. 200606048369, Official Records of Comal County, Texas, and for the southern southeast corner of a certain called 90.673 acre tract described in a deed to DHJB Development, LLC of record in Document No. 201206015207, Official Public Records of Comal County, Texas, for the southwest corner and **POINT OF BEGINNING** of the tract described herein, from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set in the north right-of-way line of said F.M. Highway No. 1863 for a point in south line of the said 90.673 acre tract bears S 55°33'09" W, a distance of 793.55 feet;

**THENCE** N 01°15'22" W, leaving the north right-of-way line of said F.M. Highway No. 1863, with the east line of the said 90.673 acre tract and the said 760 acre tract, with the west line of the said Hastings Tract 4 of 49.464 acres and with the west line of the tract described herein, a distance of 59.74 feet to a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for the southern northeast corner of the said 90.673 acre tract, for a point in the west line of the tract described herein, from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for a re-entrant corner of the said 90.673 acre tract bears S 55°33'19" W, a distance of 855.59 feet;

**THENCE** with the east line of the said 760 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, with the west line of the tract described herein, the following six (6) courses and distances:

1. N 01°15'22" W, a distance of 596.78 feet to a 1/2-inch iron rod with a plastic cap stamped "MW Cude" found at an angle point,
2. N 88°14'49" E, a distance of 11.33 feet to a 3-inch steel pipe fence post found at an angle point,
3. N 00°29'37" E, a distance of 53.59 feet to a 40d nail found at an angle point,
4. N 20°43'33" E, a distance of 27.42 feet to a 3-inch steel pipe fence post found at an angle point,
5. N 03°31'10" W, a distance of 254.94 feet to a 3-inch steel pipe fence post found at a re-entrant corner, and
6. N 89°01'28" W, a distance of 16.44 feet to a 3-inch steel pipe fence post found at an angle point in the east line of the said 760 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, for the northern southeast corner of the said 90.673 acre tract and for an angle point in the west line of the tract described herein, from which a mag-nail found bears S 47°18' W, a distance of 0.45 feet, and from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for a point of curvature and a re-entrant corner of the said 90.673 acre tract bears N 89°54'23" W, a distance of 777.08 feet;

**THENCE** N 00°25'28" W, with the east line of the said 90.673 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, with the west line of the tract described herein, a distance of 641.38 feet to a calculated point for the northwest corner of the said Hastings Tract 4 of 49.464 acres and the southwest corner of a certain called 52.454 acre tract designated as Tract 2 and described in Exhibit B in a Partition Deed to Patricia Graham of record in said Document No. 9706015147, Official Records of Comal County, Texas, for the northwest corner of the tract described herein, from which a 1/2-inch iron rod found bears

EXH. "A"

S 49°58' W, a distance of 0.30 feet, and from which a 1/2-inch iron rod found for the easterly northeast corner of the said 90.673 acre tract and the southeast corner of a certain called 32.570 acre tract designated as Tract 1, Exhibit A and described in a deed to DHJB Development, LLC of record in Document No. 201206015248, Official Public Records of Comal County, Texas bears N 00°25'28" W, a distance of 535.36 feet;

THENCE N 49°58'22" E, leaving the east line of the said 90.673 acre tract, with the northwest line of the said Hastings Tract 4 of 49.464 acres and the southeast line of the said Graham Tract 2 of 52.454 acres, with the north line of the tract described herein, a distance of 144.23 feet to a calculated point, for the northeast corner of the tract described herein, from which a 1/2-inch iron rod found at an angle point in the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres bears N 49°58'22" E, a distance of 1240.23 feet;

THENCE leaving the southeast line of the said Graham Tract 2 of 52.454 acres, crossing the said Hastings Tract 4 of 49.464 acres, with the east lines of the tract described herein, the following five (5) courses and distances:

1. S 00°25'28" E, a distance of 1024.93 feet to a calculated angle point,
2. S 27°30'34" E, a distance of 364.27 feet to a calculated angle point,
3. S 01°15'22" E, a distance of 134.34 feet to a calculated re-entrant corner of the tract described herein,
4. with the arc of a curve to the right, having a radius of 1950.10 feet, an arc distance of 175.93 feet, and a chord that bears N 64°11'37" E, a distance of 175.87 feet to a calculated point for the southerly northeast corner of the tract described herein, and
5. S 22°49'09" E, a distance of 65.44 feet to a calculated point in the curving north right-of-way line of said F.M. Highway 1863 and the curving south line of the said Hastings Tract 4 of 49.464 acres, for the easterly southeast corner of the tract described herein, from which a TXDOT Type I concrete monument found in the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres for a point-of-tangency in the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres bears with the arc of a curve to the right, having a radius of 1950.10 feet, an arc distance of 461.07 feet, and a chord that bears N 73°33'05" E a distance of 459.99 feet;

THENCE with the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres, with the south line of the tract described herein, the following two (2) courses and distances:

1. with the arc of a curve to the left, having a radius of 1950.10 feet, an arc distance of 382.80 feet, and a chord that bears S 61°09'27" W, a distance of 381.99 feet to a TXDOT Type I concrete monument found for a point-of-tangency, and
2. S 55°33'09" W, a distance of 131.70 feet to the POINT OF BEGINNING and containing 5.738 acres of land more or less.

**BEARING BASIS:** Texas Coordinate System, NAD 83, South Central Zone, Grid.

**BOWMAN WORD FILE:** FN1623(en)

H:\Survey\_FieldNotes\FN-1600s\FN1623(en).doc



5.738 Acres  
Agapita Gaytan Survey No. 194, A-174  
Comal County, Texas

Job-5522-01-001  
FN1623(en)  
Page 3 of 6

THE STATE OF TEXAS

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§

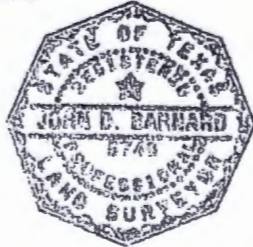
KNOW ALL MEN BY THESE PRESENTS

COUNTY OF TRAVIS

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying survey map is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground during the month of May 2014, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, on this 16<sup>th</sup> of July, 2014 A.D.

Bowman Consulting Group, Ltd.  
Austin, Texas 78746



  
John D. Barnard  
Registered Professional Land Surveyor No. 5749  
State of Texas

GAYTAN  
O. 194

PAGE 5 OF 6  
PAGE 4 OF 6

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

3" IRON PIPE FENCE POST;  
MAG-NAIL FOUND IN CONCRETE  
BEARS: S 47°18' W, 0.45'

N 89°54'23" W 777.08'  
<N 89°54'15" W>  
<777.08'>

REMAINDER (760 ACRES)  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOC. # 200006037239  
O.R.C.C.TX.

AND FURTHER DESCRIBED AS  
767.25 ACRES  
PETITION REQUESTING CREATION  
OF A WATER CONTROL & IMPROVEMENT  
DISTRICT  
DOC. # 200606048369  
O.R.C.C.TX.

S 00°25'28" E 1024.93'  
N 00°01'48" W 640.80'  
N 00°25'28" W 641.38'  
N 03°31'10" W 254.94'  
S 02°59'00" E 254.98'  
S 02°59'00" E 254.90'  
N 01°15'22" W 596.78'  
S 00°44'23" E 656.60'  
N 00°54'36" W 655.27'  
S 1°15'25" E 656.52'

5.738 ACRES

0 200



SCALE: 1"=200'

JULY, 2014  
COMAL COUNTY,  
TEXAS

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

F.M. HIGHWAY NO. 1863  
(80' R.O.W.)

SEE PAGE 6 OF 6 FOR LEGEND,  
NOTES, AND LINE AND CURVE  
TABLES.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
9101 Bee Caves Road, Suite 100, Austin, Texas 78740  
Phone: (512) 827-1100 Fax: (512) 827-4082  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TBPE Firm No. F-14309 | TBPLS Firm No. 101208-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623

(23.51 ACRES) ROFR  
PROPERTY  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOCUMENT NO.  
200006037239,  
O.P.R.C.C.TX.  
DESCRIBED IN  
MEMORANDUM OF  
OPTION CONTRACT  
DOCUMENT NO.  
200506030256,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, JOHNSON WAY  
DOC. NO. 201406013064  
O.P.R.C.C.TX.

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, PHASE 1  
DOC. NO. 201306040707  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
PHASE 1  
DOC. NO. 200706047082  
O.P.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

PAGE 5 OF 6  
PAGE 4 OF 6

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

REMAINDER [32.570 ACRES]  
TRACT 1, EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015248,  
O.P.R.C.C.TX.

[52.454 ACRES]  
TRACT 2, EXHIBIT B  
PATRICIA LUX GRAHAM  
DOC. NO. 9706015147,  
O.R.C.C.TX.

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

SEE PAGE 6 OF 6 FOR LEGEND,  
NOTES, AND LINE AND CURVE  
TABLES.

0 200  
SCALE: 1"=200'  
JULY, 2014  
COMAL COUNTY,  
TEXAS

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
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Phone: (512) 327-1180 Fax: (512) 327-4082  
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TBPE Firm No. F-14309 | TBPLS Firm No. 101208-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623



### LEGEND

- 1/2" IRON ROD FOUND  
UNLESS OTHERWISE NOTED
- CUDE ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "MW CUDE" FOUND
- LAI ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "LAI" PREVIOUSLY SET
- ▲ 40d NAIL FOUND
- TXDOT TYPE I CONCRETE  
MONUMENT FOUND
- ⊙ 3 INCH STEEL PIPE FENCE POST
- △ CALCULATED POINT
- < > RECORD INFORMATION PER  
DOC. NO. 200706046903  
O.R.C.C.TX.
- { } RECORD INFORMATION PER  
DOC. NO. 200606048369  
O.R.C.C.TX.
- [ ] RECORD INFORMATION PER  
DOC. NO. 9706015147  
O.R.C.C.TX.
- O.R.C.C.TX. OFFICIAL RECORDS OF COMAL  
COUNTY, TEXAS
- O.P.R.C.C.TX. OFFICIAL PUBLIC RECORDS OF  
COMAL COUNTY, TEXAS
- ..... DEED LINE

### NOTES:

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH  
CENTRAL ZONE, NAD 83, GRID
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE  
MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID,  
MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS  
0.99984.

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N 01°15'22" W	59.74'
<L1>	<S 01°15'25" E>	<59.75'>
L2	N 88°14'49" E	11.33'
<L2>	<S 88°13'14" W>	<11.32'>
[L2]	[S 82°50'52" W]	[11.15']
[L2]	[N 82°36'08" E]	[11.15']
L3	N 00°29'37" E	53.59'
<L3>	<S 00°30'26" W>	<53.58'>
[L3]	[S 01°28'41" W]	[52.36']
[L3]	[N 01°13'57" E]	[52.36']
L4	N 20°43'33" E	27.42'
[L4]	[N 21°01'12" E]	[27.31']
L5	N 89°01'28" W	16.44'
<L5>	<S 89°09'04" E>	<16.66'>
[L5]	[S 89°30'00" E]	[16.84']
[L5]	[N 88°54'10" W]	[16.54']
L6	N 49°58'22" E	144.23'
L7	S 01°15'22" E	134.34'
L8	S 22°49'09" E	65.44'
L9	S 55°33'09" W	131.70'
L10	S 55°33'09" W	793.55'
L11	S 55°33'09" W	364.42'

### CURVE TABLE

CURVE #	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE
C1	1950.10'	175.93'	N 64°11'37" E	175.87'
C2	1950.10'	382.60'	S 61°09'27" W	381.99'
C3	1950.10'	461.07'	N 73°33'05" E	459.89'
	[1950.10']		[S 68°19'48" W]	[836.98']

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
2101 Bee Cave Road, Suite 100, Austin, Texas 78746  
Phone: (512) 327-1168 Fax: (512) 327-4082  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TBPE Firm No. F-14309 | TBPLS Firm No. 101206-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623

ORIGINAL

CAUSE NO. 2015CVB0054  
WRIT OF POSSESSION

THE STATE OF TEXAS  
COUNTY OF COMAL

County Court at Law  
Comal County, Texas

To any Sheriff or any Constable within the State of Texas - Greetings:

WHEREAS, on July 31<sup>st</sup>, 2015, **Johnson Ranch Municipal Utility District**, Plaintiff recovered an Order Granting Possession, in the County Court at Law, against **Patricia Lux Graham**, defendant for immediate possession of property sought to be condemned described as follows, to-wit: Described on Attachment "A" (the Property)

IT was further Ordered that a Writ of Possession issue, requiring inter alia (a) the seizure of the property; (b) the removal there from of Defendants and of any person who might claim through them during the pendency of the proceeding; and (c) delivery of possession of the Property to Plaintiff, Johnson Ranch Municipal Utility District.

THEREFORE, you are hereby commanded that you deliver to the said **Johnson Ranch Municipal Utility District** the possession of said property hereinbefore described, as against the said **Patricia Lux Graham**, and all persons claiming under or through since the institution of this suit.

HEREIN FAIL NOT, but of this writ make due return within 30 days, with your endorsement thereon, showing how you have executed the same.

WITNESS my hand officially, and the seal of said Court hereto affixed, at office in New Braunfels, Texas this the 31<sup>st</sup> day of July, 2015.



**BOBBIE KOEPP**, County Clerk  
Comal County Court at Law

By Cynthia Foster  
Cynthia Foster, Deputy Clerk

SHERIFF'S RETURN

Came to hand on the 7 day of AUGUST, A.D. 20 15, at 14:44 o'clock P. M., and  
executing on the 12 day of AUGUST at 9:02 o'clock A. M. at  
HASTING TRACT / ALPHEUM TRACT by placing the said REAL PROPERTY in possession of the  
following property, to-wit: JOHNSON RANCH MUNICIPAL UTILITY DISTRICT

BOB HOLDER, Sheriff

By: W. GILSON 946  
Deputy

MARK CHEATUM  
CONSTABLE



FILED  
8/12/2015 2:29:48 PM  
Bobbie Koepf  
County Clerk  
Comal County  
Accepted By:  
Cynthia Foster

CAUSE NO. 2015CVB0056  
WRIT OF POSSESSION

ORIGINAL

THE STATE OF TEXAS  
COUNTY OF COMAL

County Court at Law  
Comal County, Texas

To any Sheriff or any Constable within the State of Texas - Greetings:

WHEREAS, on July 31<sup>st</sup>, 2015, **Johnson Ranch Municipal Utility District**, Plaintiff recovered an Order Granting Possession, in the County Court at Law, against **Margie Hastings**, defendant for immediate possession of property sought to be condemned described as follows, to-wit: Described on Attachment "A" (the Property)

IT was further Ordered that a Writ of Possession issue, requiring inter alia (a) the seizure of the property; (b) the removal there from of Defendants and of any person who might claim through them during the pendency of the proceeding; and (c) delivery of possession of the Property to Plaintiff, Johnson Ranch Municipal Utility District.

THEREFORE, you are hereby commanded that you deliver to the said **Johnson Ranch Municipal Utility District** the possession of said property hereinbefore described, as against the said **Margie Hastings**, and all persons claiming under or through since the institution of this suit.

HEREIN FAIL NOT, but of this writ make due return within 30 days, with your endorsement thereon, showing how you have executed the same.

WITNESS my hand officially, and the seal of said Court hereto affixed, at office in New Braunfels, Texas this the 31<sup>st</sup> day of July, 2015.



BOBBIE KOEPP, County Clerk  
Comal County Court at Law

By Cynthia Foster  
Cynthia Foster, Deputy Clerk

SHERIFF'S RETURN  
Came to hand on the 7 day of AUGUST, A.D. 20 15, at 14:44 o'clock P. M., and  
executing on the 12 day of Aug, 2015 at 9:22 o'clock A. M. at  
HASTINGS RANCH TRACT by placing the said JOHNSON RANCH MUNICIPAL UTILITY DISTRICT in possession of the  
following property, to-wit: JOHNSON RANCH MUNICIPAL UTILITY DISTRICT

BOB HOLDER, Sheriff

By: W. GILSON 9/6  
Deputy

MARK CHEATUM  
Constable





RECEIVED

JUN 29 2016

June 22, 2016

COUNTY ENGINEER

Alex Grant  
Edwards Aquifer Protection Program  
Texas Commission on Environmental Quality  
14250 Judson Rd  
San Antonio, TX 78233

TCEQ R-13 2016 JUN 24 12:32

**RE: Response to TCEQ Comments Provided for Johnson Ranch Storm Channel  
Improvements WPAP Submittal dated April 21, 2016.  
San Antonio File No. RN105332522; Additional ID No. 13000142**

Dear Mr. Grant,

Thank you for your comments as a response to our Johnson Ranch Storm Channel Improvements Request for a WPAP dated June 16, 2016. We have addressed them as follows:

Comment #1: Agent authorization from Mr. Brian Baize, of Johnson Ranch Municipal Utility District was submitted authorizing Mr. Tracy Bratton of Bowman Consulting Group, Ltd as the agent on behalf of Johnson Ranch Municipal Utility District. The authority of Mr. Baize could not be verified, specifically, the signature authority required under 30 TAC 213.4(d)(1)(C) could not be verified. 30 TAC 213.4(d)(1)(C) establishes that for a municipality, a principal executive officer or a duly authorized representative must sign the application. A representative must submit written proof of the authorization. Please provide additional documentation that verifies the signatory authority of Mr. Baize.

***Bowman Response: Please refer to the attached Signed Meeting Minutes for the meeting providing Mr. Brian Baize signatory authority.***

Comment #2: The project boundaries include properties that are not owned by the applicant. In accordance with Title 30, Texas Administrative Code, Chapter 213.4(c)(2) only owners, their authorized agent(s), or those persons having the right to possess and control the property that is the subject of the Edwards Aquifer protection plan may submit the plan for review and approval by the executive director. The application was submitted by Johnson Ranch Municipal Utility District but according to Comal County records the site for the proposed application project limits extend into four properties with separate owners; DHJB Development, LLC, Graham Patricia LUX, Hastings Margie, and Johnson Clyde and Sons Hereford Ranch, LTD. No documentation was submitted that grants the applicant, Johnson Ranch Municipal Utility District, with the right to possess and control the properties for the purpose of conducting regulated activities. Please provide additional documentation that authorizes the applicant with the ability to possess and control the properties to perform regulated activities.

***Bowman Response: The entire portion of this Project falls under two properties only as shown on the exhibit: owners Patricia Lux Graham and Margie Hastings. Please refer to the Awards of Special Commissioners for the Graham and Hastings matters.***

Comment #3: The TCEQ Water Pollution Abatement Plan (TCEQ-0592) construction notes that are listed on schematic sheet 2 of 17 are the old version of the notes. The general construction notes were update in July of 2015. Please resubmit schematic sheet 2 of 17 with the updated version of the TCEQ construction notes.

***Bowman Response: Please see the revised sheet 2 of 17 addressing your comment.***

Please do not hesitate to contact me for any additional clarifications or questions in regards to our submittal.

Thank you in advance for your attention,



Tracy Bratton, P.E.  
Bowman Consulting  
[tbratton@bowmanconsulting.com](mailto:tbratton@bowmanconsulting.com)

NO. 2015-CVB-0054

**FILED**  
At 3:00 O'clock P.M.  
**APR 20 2015**  
BOBBING JOEPP  
County Clerk, Comal Co., Texas

JOHNSON RANCH  
MUNICIPAL UTILITY DISTRICT

*Plaintiff,*

vs.

PATRICIA LUX GRAHAM, et al.

*Defendant.*

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CONDEMNATION PROCEEDING

IN THE COUNTY COURT AT LAW

COMAL COUNTY, TEXAS

**AWARD OF SPECIAL COMMISSIONERS**

WHEREAS, on the 10<sup>th</sup> day of February, 2015, the JOHNSON RANCH MUNICIPAL UTILITY DISTRICT, Plaintiff, filed with the Judge of the County Court at Law of Comal County, Texas, its Original Petition for Condemnation seeking to acquire


fee simple title (surface estate only) to 2.045 acres of land and improvements, if any, out of 52.454 acres out of the A. Gayton Survey No. 194, Abstract No. 174, Comal County, Texas, located in Comal County, Texas, for a public use, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project; said 2.045 acres of land is further described by metes and bounds, as well as plat, in Exhibit "A" attached hereto and incorporated herein by reference (hereinafter referred to as "the Property").

WHEREAS, on the 6<sup>th</sup> day of March, 2015, the Judge, by an Order in writing, did appoint Curtis Bremer, Len Heimer, and Barry Moore, three disinterested real property owners of Comal County, Texas, as Special Commissioners to assess the compensation and damages to the Defendant in the above-styled proceedings occasioned by the acquisition of the Property through condemnation; and



WHEREAS, the said Special Commissioners, having been sworn to assess the compensation and damages to the Defendant in the above-styled proceeding occasioned by the acquisition of the Property through condemnation, fairly and impartially and in accordance with law, met and by an Order in writing set the 20<sup>th</sup> day of April, 2015 at 1:30 o'clock P.M. in the County Court at Law, Comal County Courthouse, 100 Main Plaza, Room 101, in the City of New Braunfels, Texas, as the time, date and place for hearing the parties, such time and place having been considered by us to be the earliest practicable day and as near as practicable to the Property in controversy as well as being at the county seat of the county in which the Property is situated; and

WHEREAS, the Special Commissioners issued an Order and notice of the hearing in writing to Defendant notifying the Defendant of the time, date and place selected for the hearing, which was served in the manner prescribed by law, with the original of such Order having been duly returned and being before us on the date of this hearing; and

WHEREAS, on the 20<sup>th</sup> day of April, 2015 at 1:30 o'clock P.M. and at the place appointed, Plaintiff JOHNSON RANCH MUNICIPAL UTILITY DISTRICT appeared by and through its attorney of record, PAUL D. BARKHURST, and announced ready for hearing; and Defendant PATRICIA LUX GRAHAM, ~~appeared by and through her attorney of record, PATRICK REZNICK, and announced ready for hearing~~ OR did not appear. 

WHEREUPON, we proceeded to hear the evidence, and it appearing to us, and we so find, that the Plaintiff has found and determined the necessity for and has ordered the acquisition through condemnation of the Property, located in Comal County, Texas,

for a public purpose, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project.

AND WHEREUPON, having heard the evidence as to the value of the Property sought to be condemned, we find as follows, according to the rules of damages prescribed by law:

WE, the undersigned Special Commissioners, therefore now do assess the total just compensation which will accrue to the Defendant in this condemnation proceeding as owner of the Property described herein by reason of the taking through this proceeding in condemnation at \$ 40,000.<sup>00</sup>, and such sum is hereby awarded to the Defendant for all purposes, and on the date herein below set forth we have reduced this, our decision in writing.

We further decide and adjudge that all costs of these proceedings, including the cost of service of process, shall be paid by Plaintiff.

SIGNED on this the 20<sup>th</sup> day of April, 2015.

B. D. Moore  
Special Commissioner

Curtis W. Bremer  
Special Commissioner

[Signature]  
Special Commissioner

ORDER

The foregoing Award of the Special Commissioners was filed with me this  
21<sup>st</sup> day of April, 2015.

The fees are hereby adjudged as follows:

1. Fees to Special Commissioners

\$ 100 TO CURTIS BREMER

\$ 100 TO LEN HEIMER

\$ 100 TO BARRY MOORE

SIGNED this 21<sup>st</sup> day of April, 2015.

  
JUDGE PRESIDING



### FIELD NOTES DESCRIPTION

DESCRIPTION OF 2.045 ACRES OF LAND IN THE AGAPITA GAYTAN SURVEY NO. 194, A-174, COMAL COUNTY, TEXAS; BEING A PORTION OF THAT CERTAIN CALLED 52.454 ACRE TRACT DESIGNATED AS TRACT 2 AND DESCRIBED IN EXHIBIT B IN A PARTITION DEED TO PATRICIA GRAHAM OF RECORD IN DOCUMENT NO. 9706015147, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS; SAID 2.045 ACRES OF LAND, AS SURVEYED BY BOWMAN CONSULTING GROUP, LTD. AND SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

**BEGINNING** at a calculated point in the east line of a certain called 90.673 acre tract described in a deed to DHJB Development, LLC of record in Document No. 201206015207, Official Public Records of Comal County, Texas, for the southwest corner of the said Graham Tract 2 of 52.454 acres and the northwest corner of a certain called 49.464 acre tract, designated as Tract 4 and described in Exhibit D in a Partition Deed to Margie Hastings of record in said Document No. 9706015147, Official Records of Comal County, Texas, for the southwest corner and **POINT OF BEGINNING** of the tract described herein, from which a 1/2-inch iron rod found bears S 49°58' W, a distance of 0.30 feet, and from which a 3-inch steel pipe fence post found at an angle point in the east line of a certain called 760 acre tract described in a deed to Clyde Johnson & Sons Hereford Ranch, Ltd., of record in Document No. 200006037239, Official Records of Comal County, Texas and further described as 767.25 acres of land in a Petition Requesting Creation of a Water Control and Improvement District recorded in Document No. 200606048369, Official Records of Comal County, Texas and the west line of the said Hastings Tract 4 of 49.464 acres, for the northern southeast corner of the said 90.673 acre tract bears S 00°25'28" E, a distance of 641.38 feet;

**THENCE** N 00°25'28" W, continuing with the east line of the said 90.673 acre tract and the west line of the said Graham Tract 2 of 52.454 acres, with the west line of the tract described herein, a distance of 535.36 feet to a 1/2-inch iron rod found for the easterly northeast corner of the said 90.673 acre tract and the southeast corner of a certain called 32.570 acre tract designated as Tract 1, Exhibit A and described in a deed to DHJB Development, LLC of record in Document No. 201206015248, Official Public Records of Comal County, Texas, for an angle point in the west line of the tract described herein;

**THENCE** with the east line of the said 32.570 acre tract and the west line of the said Graham Tract 2 of 52.454 acres, with the west line of the tract described herein, the following four (4) courses and distances:

1. N 40°51'23" E, a distance of 41.38 feet to a 40d nail found at an angle point,
2. N 15°05'37" W, a distance of 43.14 feet to a 1/2-inch iron rod with a plastic cap stamped "MW Cude" found for an angle point,
3. N 02°32'33" W, a distance of 82.39 feet to a 1/2-inch iron rod found for an angle point, and
4. N 00°16'53" W, a distance of 15.25 feet to a 3-inch steel pipe fence post for the northwest corner of the tract described herein, from which a 1/2-inch iron rod found in the west line of the said Graham Tract 2 of 52.454 acres and the east line of the said 32.570 acre tract bears N 02°30'59" E, a distance of 55.35 feet;

**THENCE** leaving the east line of the said 32.570 acre tract, crossing the said Graham Tract 2 of 52.454 acres, with the north and east lines of the tract described herein, the following two (2) courses and distances:

1. S 87°29'01" E, a distance of 129.46 feet to a calculated point for the northeast corner of the tract described herein, and
2. S 00°25'28" E, a distance of 581.10 feet to a calculated point in the south line of the said Graham Tract 2 of 52.454 acres and the north line of the said Hastings Tract 4 of 49.464 acres, from which a 1/2-inch iron rod found at an angle point in the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres bears N 49°58'22" E, a distance of 1199.30 feet;



2.045 Acres  
Agapita Gaytan Survey No. 194, A-174  
Comal County, Texas

Job-5522-01-001  
FN1624(en)  
Page 2 of 4

THENCE S 49°58'22" W, with the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres, with the south line of the tract described herein, a distance of 185.16 feet to the POINT OF BEGINNING and containing 2.045 acres of land more or less.

BEARING BASIS: Texas Coordinate System, NAD 83, South Central Zone, Grid.

BOWMAN WORD FILE: FN1624(en)

H:\Survey\_FieldNotes\FN-1600s\FN1624(en).doc

THE STATE OF TEXAS

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KNOW ALL MEN BY THESE PRESENTS

COUNTY OF TRAVIS

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying survey map is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground during the month of May 2014, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, on this 16<sup>TH</sup> of July, 2014 A.D.

Bowman Consulting Group, Ltd.  
Austin, Texas 78746



  
John D. Barnard  
Registered Professional Land Surveyor No. 5749  
State of Texas

(23.51 ACRES) ROFR  
PROPERTY  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOCUMENT NO.  
200006037239,  
O.P.R.C.C.TX.  
DESCRIBED IN  
MEMORANDUM OF  
OPTION CONTRACT  
DOCUMENT NO.  
200506030256,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, JOHNSON WAY  
DOC. NO. 201406013084  
O.P.R.C.C.TX.

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, PHASE 1  
DOC. NO. 201306040707  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
PHASE 1  
DOC. NO. 200706047082  
O.P.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

REMAINDER [32.570 ACRES]  
TRACT 1, EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015248,  
O.P.R.C.C.TX.

1/2" IRON ROD FOUND  
AT EAST BASE OF A  
5" CEDAR FENCE POST  
IN OLD WIRE FENCE REMAINS

[52.454 ACRES]  
TRACT 2, EXHIBIT B  
PATRICIA LUX GRAHAM  
DOC. NO. 9706015147,  
O.R.C.C.TX.

2.045 ACRES

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

SEE PAGE 4 OF 4 FOR LEGEND,  
NOTES, AND LINE TABLE.

0 200



SCALE: 1"=200'

JULY, 2014  
COMAL COUNTY,  
TEXAS

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
2121 One-Drive Road, Suite 140, Austin, Texas 78718  
Phone: (512) 357-1180 Fax: (512) 357-4382  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

VDPE Print No. F-14308 | TPLS Print No. 101206-06

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1624

FILE: H:\Survey\Johnson Ranch\Work\Field Note Sketches\FN1624\_Graham D.E.dwg  
DATE: Jul 16, 2014-10:31am

PAGE 3 OF 4



# **LEGEND**

- 1/2" IRON ROD FOUND  
UNLESS OTHERWISE NOTED
- CUDE ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "NW CUDE" FOUND
- LAI ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "LAI" PREVIOUSLY SET
- ▲ 40d NAIL FOUND
- ⊙ 3-INCH STEEL PIPE FENCE POST
- △ CALCULATED POINT
- < > RECORD INFORMATION PER  
DOC. NO. 200706048903  
O.R.C.C.TX.
- { } RECORD INFORMATION PER  
DOC. NO. 200606048389  
O.R.C.C.TX.
- [ ] RECORD INFORMATION PER  
DOC. NO. 9706015147 O.R.C.C.TX.
- O.R.C.C.TX. OFFICIAL RECORDS OF COMAL  
COUNTY, TEXAS
- O.P.R.C.C.TX. OFFICIAL PUBLIC RECORDS OF  
COMAL COUNTY, TEXAS
- ..... DEED LINE

## **LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N 40°51'23" E	41.38'
{L1}	{S 41°24'00" W}	{41.45'}
[L1]	[N 41°11'33" E]	[41.49']
L2	N 15°05'37" W	43.14'
{L2}	{S 14°27'00" E}	{42.49'}
[L2]	[N 14°39'24" W]	[42.49']
L3	N 02°32'33" W	82.39'
{L3}	{S 02°32'33" E}	{82.39'}
[L3]	[N 02°13'45" W]	[82.93']
L4	N 00°18'53" W	15.25'
{L4}	{S 01°39'29" W}	{15.38'}
[L4]	[N 00°12'31" E]	[15.51']
L5	S 87°29'01" E	129.46'
L6	S 49°58'22" W	165.16'
L7	N 02°30'59" E	55.35'
{L7}	{S 02°34'40" W}	{55.25'}
[L7]	[N 02°46'27" E]	[55.30']

### **NOTES:**

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD 83, GRID
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID, MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS 0.99984.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
5901 Bee Cave Road, Suite 100, Austin, Texas 78746  
Phone: (512) 387-1180 Fax: (512) 387-4082  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TYPE Print No. F-14300 | TYPE Plot No. 101206-00

**EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1624**

NO. 2015-CVB-0056

**FILED**  
At 3:00 O'clock PM  
**APR 20 2015**  
BOBBIE KOEPP  
County Clerk  
Comal Co., Texas

**JOHNSON RANCH  
MUNICIPAL UTILITY DISTRICT**

*Plaintiff,*

**vs.**

**MARGIE HASTINGS, et al.**

*Defendant.*

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**CONDEMNATION PROCEEDING**

**IN THE COUNTY COURT AT LAW**

**COMAL COUNTY, TEXAS**


**AWARD OF SPECIAL COMMISSIONERS**

WHEREAS, on the 10<sup>th</sup> day of February, 2015, the JOHNSON RANCH MUNICIPAL UTILITY DISTRICT, Plaintiff, filed with the Judge of the County Court at Law of Comal County, Texas, its Original Petition for Condemnation seeking to acquire fee simple title (surface estate only) to 5.738 acres of land and improvements, if any, out of 49.464 acres out of the A. Gayton Survey No. 194, Abstract No. 174, Comal County, Texas, located in Comal County, Texas, for a public use, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project; said 5.738 acres of land is further described by metes and bounds, as well as plat, in Exhibit "A" attached hereto and incorporated herein by reference (hereinafter referred to as "the Property").

WHEREAS, on the 6<sup>th</sup> day of March 2015, the Judge, by an Order in writing, did appoint Curtis Bremer, Len Heimer, and Barry Moore, three disinterested real property owners of Comal County, Texas, as Special Commissioners to assess the compensation and damages to the Defendant in the above-styled proceedings occasioned by the acquisition of the Property through condemnation; and

WHEREAS, the said Special Commissioners, having been sworn to assess the compensation and damages to the Defendant in the above-styled proceeding occasioned by the acquisition of the Property through condemnation, fairly and impartially and in accordance with law, met and by an Order in writing set the 20<sup>th</sup> day of April, 2015 at 9:00 o'clock A.M. in the County Court at Law, Comal County Courthouse, 100 Main Plaza, Room 101, in the City of New Braunfels, Texas, as the time, date and place for hearing the parties, such time and place having been considered by us to be the earliest practicable day and as near as practicable to the Property in controversy as well as being at the county seat of the county in which the Property is situated; and

WHEREAS, the Special Commissioners issued an Order and notice of the hearing in writing to Defendant notifying the Defendant of the time, date and place selected for the hearing, which was served in the manner prescribed by law, with the original of such Order having been duly returned and being before us on the date of this hearing; and

WHEREAS, on the 20<sup>th</sup> day of April, 2015 at 9:00 o'clock A.M. and at the place appointed, Plaintiff JOHNSON RANCH MUNICIPAL UTILITY DISTRICT appeared by and through its attorney of record, PAUL D BARKHURST, and announced ready for hearing; and Defendant MARGIE HASTINGS, ~~appeared by and through her attorney of record, PATRICK REZNICK, and announced ready for hearing~~ OR did not appear. 

WHEREUPON, we proceeded to hear the evidence, and it appearing to us, and we so find, that the Plaintiff has found and determined the necessity for and has ordered the acquisition through condemnation of the Property, located in Comal County, Texas,



for a public purpose, namely the Johnson Ranch Municipal Utility District Stormwater Drainage Project.

AND WHEREUPON, having heard the evidence as to the value of the Property sought to be condemned, we find as follows, according to the rules of damages prescribed by law:

WE, the undersigned Special Commissioners, therefore now do assess the total just compensation which will accrue to the Defendant in this condemnation proceeding as owner of the Property described herein by reason of the taking through this proceeding in condemnation at \$ 118,000.<sup>00</sup>, and such sum is hereby awarded to the Defendant for all purposes, and on the date herein below set forth we have reduced this, our decision in writing.

We further decide and adjudge that all costs of these proceedings, including the cost of service of process, shall be paid by Plaintiff.

SIGNED on this the 20<sup>th</sup> day of April, 2015.

B. J. Moore  
Special Commissioner

Curtis W. Bremer  
Special Commissioner

[Signature]  
Special Commissioner

**ORDER**

The foregoing Award of the Special Commissioners was filed with me this  
20<sup>th</sup> day of APRIL, 2015.

The fees are hereby adjudged as follows:

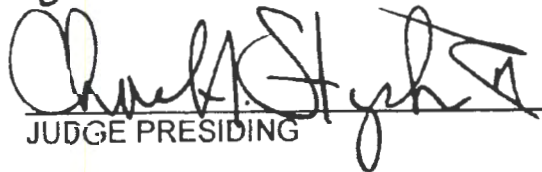
1. Fees to Special Commissioners

\$ 350 TO CURTIS BREMER

\$ 280 TO LEN HEIMER

\$ 350 TO BARRY MOORE

SIGNED this 20<sup>th</sup> day of April, 2015.

  
JUDGE PRESIDING

### FIELD NOTES DESCRIPTION

DESCRIPTION OF 5.738 ACRES OF LAND IN THE AGAPITA GAYTAN SURVEY NO. 194, A-174, COMAL COUNTY, TEXAS; BEING A PORTION OF A CERTAIN CALLED 49.464 ACRE TRACT, DESIGNATED AS TRACT 4 AND DESCRIBED IN EXHIBIT D IN A PARTITION DEED TO MARGIE HASTINGS OF RECORD IN DOCUMENT NO. 9706015147, OFFICIAL RECORDS OF COMAL COUNTY, TEXAS; SAID 5.738 ACRES OF LAND, AS SURVEYED BY BOWMAN CONSULTING GROUP, LTD. AND SHOWN ON THE ACCOMPANYING SKETCH, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

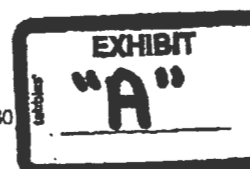
**BEGINNING** at a 1/2-inch iron rod with cap stamped "MW Cude" found in the north right-of-way line of F.M. Highway No. 1863, at the southwest corner of the said Hastings Tract 4 of 49.464 acres and the southeast corner of a certain called 760 acre tract described in a deed to Clyde Johnson & Sons Hereford Ranch, Ltd., of record in Document No. 200006037239, Official Records of Comal County, Texas and further described as 767.25 acres of land in a Petition Requesting Creation of a Water Control and Improvement District recorded in Document No. 200606048369, Official Records of Comal County, Texas, and for the southern southeast corner of a certain called 90.673 acre tract described in a deed to DHJB Development, LLC of record in Document No. 201206015207, Official Public Records of Comal County, Texas, for the southwest corner and **POINT OF BEGINNING** of the tract described herein, from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set in the north right-of-way line of said F.M. Highway No. 1863 for a point in south line of the said 90.673 acre tract bears S 55°33'09" W, a distance of 793.55 feet;

**THENCE** N 01°15'22" W, leaving the north right-of-way line of said F.M. Highway No. 1863, with the east line of the said 90.673 acre tract and the said 760 acre tract, with the west line of the said Hastings Tract 4 of 49.464 acres and with the west line of the tract described herein, a distance of 59.74 feet to a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for the southern northeast corner of the said 90.673 acre tract, for a point in the west line of the tract described herein, from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for a re-entrant corner of the said 90.673 acre tract bears S 55°33'19" W, a distance of 855.59 feet;

**THENCE** with the east line of the said 760 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, with the west line of the tract described herein, the following six (6) courses and distances:

1. N 01°15'22" W, a distance of 596.78 feet to a 1/2-inch iron rod with a plastic cap stamped "MW Cude" found at an angle point,
2. N 88°14'49" E, a distance of 11.33 feet to a 3-inch steel pipe fence post found at an angle point,
3. N 00°29'37" E, a distance of 53.59 feet to a 40d nail found at an angle point,
4. N 20°43'33" E, a distance of 27.42 feet to a 3-inch steel pipe fence post found at an angle point,
5. N 03°31'10" W, a distance of 254.94 feet to a 3-inch steel pipe fence post found at a re-entrant corner, and
6. N 89°01'28" W, a distance of 16.44 feet to a 3-inch steel pipe fence post found at an angle point in the east line of the said 760 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, for the northern southeast corner of the said 90.673 acre tract and for an angle point in the west line of the tract described herein, from which a mag-nail found bears S 47°18' W, a distance of 0.45 feet, and from which a 1/2-inch iron rod with a plastic cap stamped "LAI" previously set for a point of curvature and a re-entrant corner of the said 90.673 acre tract bears N 89°54'23" W, a distance of 777.08 feet;

**THENCE** N 00°25'28" W, with the east line of the said 90.673 acre tract and the west line of the said Hastings Tract 4 of 49.464 acres, with the west line of the tract described herein, a distance of 641.38 feet to a calculated point for the northwest corner of the said Hastings Tract 4 of 49.464 acres and the southwest corner of a certain called 52.454 acre tract designated as Tract 2 and described in Exhibit B in a Partition Deed to Patricia Graham of record in said Document No. 9706015147, Official Records of Comal County, Texas, for the northwest corner of the tract described herein, from which a 1/2-inch iron rod found bears





S 49°58' W, a distance of 0.30 feet, and from which a 1/2-inch iron rod found for the easterly northeast corner of the said 90.673 acre tract and the southeast corner of a certain called 32.570 acre tract designated as Tract 1, Exhibit A and described in a deed to DHJB Development, LLC of record in Document No. 201206015248, Official Public Records of Comal County, Texas bears N 00°25'28" W, a distance of 535.36 feet;

THENCE N 49°58'22" E, leaving the east line of the said 90.673 acre tract, with the northwest line of the said Hastings Tract 4 of 49.464 acres and the southeast line of the said Graham Tract 2 of 52.454 acres, with the north line of the tract described herein, a distance of 144.23 feet to a calculated point, for the northeast corner of the tract described herein, from which a 1/2-inch iron rod found at an angle point in the southeast line of the said Graham Tract 2 of 52.454 acres and the northwest line of the said Hastings Tract 4 of 49.464 acres bears N 49°58'22" E, a distance of 1240.23 feet;

THENCE leaving the southeast line of the said Graham Tract 2 of 52.454 acres, crossing the said Hastings Tract 4 of 49.464 acres, with the east lines of the tract described herein, the following five (5) courses and distances:

1. S 00°25'28" E, a distance of 1024.93 feet to a calculated angle point,
2. S 27°30'34" E, a distance of 364.27 feet to a calculated angle point,
3. S 01°15'22" E, a distance of 134.34 feet to a calculated re-entrant corner of the tract described herein,
4. with the arc of a curve to the right, having a radius of 1950.10 feet, an arc distance of 175.93 feet, and a chord that bears N 64°11'37" E, a distance of 175.87 feet to a calculated point for the southerly northeast corner of the tract described herein, and
5. S 22°49'09" E, a distance of 65.44 feet to a calculated point in the curving north right-of-way line of said F.M. Highway 1863 and the curving south line of the said Hastings Tract 4 of 49.464 acres, for the easterly southeast corner of the tract described herein, from which a TXDOT Type I concrete monument found in the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres for a point-of-tangency in the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres bears with the arc of a curve to the right, having a radius of 1950.10 feet, an arc distance of 461.07 feet, and a chord that bears N 73°33'05" E a distance of 459.99 feet;

THENCE with the north right-of-way line of said F.M. Highway 1863 and the south line of the said Hastings Tract 4 of 49.464 acres, with the south line of the tract described herein, the following two (2) courses and distances:

1. with the arc of a curve to the left, having a radius of 1950.10 feet, an arc distance of 382.60 feet, and a chord that bears S 81°09'27" W, a distance of 381.99 feet to a TXDOT Type I concrete monument found for a point-of-tangency, and
2. S 55°33'09" W, a distance of 131.70 feet to the **POINT OF BEGINNING** and containing 5.738 acres of land more or less.

**BEARING BASIS:** Texas Coordinate System, NAD 83, South Central Zone, Grid.

**BOWMAN WORD FILE:** FN1623(en)

H:\Survey\FieldNotes\FN-1600s\FN1623(en).doc

5.738 Acres  
Agapita Gaytan Survey No. 194, A-174  
Comal County, Texas

Job-5522-01-001  
FN1623(en)  
Page 3 of 6

THE STATE OF TEXAS  
COUNTY OF TRAVIS

§  
§  
§

KNOW ALL MEN BY THESE PRESENTS

That I, John D. Barnard, a Registered Professional Land Surveyor, do hereby certify that the above description and the accompanying survey map is true and correct to the best of my knowledge and belief and that the property described herein was determined by a survey made on the ground during the month of May 2014, under my direction and supervision.

WITNESS MY HAND AND SEAL at Austin, Travis County, Texas, on this 16<sup>TH</sup> of July, 2014 A.D.

Bowman Consulting Group, Ltd.  
Austin, Texas 78746



  
John D. Barnard  
Registered Professional Land Surveyor No. 5749  
State of Texas

GAYTAN  
O. 194

PAGE 5 OF 6  
PAGE 4 OF 6

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

3" IRON PIPE FENCE POST;  
MAG-NAIL FOUND IN CONCRETE  
BEARS: S 47°18' W, 0.45'

N 89°54'23" W 777.08'  
<N 89°54'15" W>  
<777.08'>

REMAINDER (750 ACRES)  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.  
DOC. # 200006037239  
O.R.C.C.TX.

AND FURTHER DESCRIBED AS  
767.25 ACRES  
PETITION REQUESTING CREATION  
OF A WATER CONTROL & IMPROVEMENT  
DISTRICT  
DOC. # 200606048369  
O.R.C.C.TX.

S 00°44'23" E  
[N 00°54'36" W  
S 1°15'25" E  
<586.78'>  
656.50'  
655.27'  
656.52'>

[N 03°31'10" W  
[254.94'  
[254.88']  
[254.90']  
[N 02°59'00" E]  
[254.90']

L5  
L4  
L3  
L2  
L1  
P.O.B. CUDE

5.738 ACRES

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

F.M. HIGHWAY NO. 1863  
(80' R.O.W.)

SEE PAGE 6 OF 6 FOR LEGEND,  
NOTES, AND LINE AND CURVE  
TABLES.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
3101 West Camp Street, Suite 100, Austin, Texas 78705  
Phone (512) 927-1700 Fax (512) 927-4002  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TRPS Form No. F-14308 | TRPLS Form No. 101206-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623



(23.51 ACRES) ROFR  
PROPERTY  
CLYDE JOHNSON & SONS  
HEREFORD RANCH, LTD.

DOCUMENT NO.  
200006037239,  
O.P.R.C.C.TX.  
DESCRIBED IN  
MEMORANDUM OF  
OPTION CONTRACT  
DOCUMENT NO.  
200506030256,  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, JOHNSON WAY  
DOC. NO. 201406013064  
O.P.R.C.C.TX.

0 200  
SCALE: 1"=200'  
JULY, 2014  
COMAL COUNTY,  
TEXAS

REMAINDER [32.570 ACRES]  
TRACT 1, EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015248,  
O.P.R.C.C.TX.

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

[52.454 ACRES]  
TRACT 2, EXHIBIT B  
PATRICIA LUX GRAHAM  
DOC. NO. 9706015147,  
O.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
UNIT 1, PHASE 1  
DOC. NO. 201306040707  
O.P.R.C.C.TX.

JOHNSON RANCH SUBDIVISION  
PHASE 1  
DOC. NO. 200706047082  
O.P.R.C.C.TX.

A-174  
AGAPITA GAYTAN  
SURVEY NO. 194

PAGE 5 OF 6  
PAGE 4 OF 6

[90.673 ACRES]  
EXHIBIT A  
DHJB DEVELOPMENT, LLC  
DOCUMENT NO. 201206015207,  
O.P.R.C.C.TX.

[49.464 ACRES]  
TRACT 4, EXHIBIT D  
MARGIE HASTINGS  
DOC. NO. 9706015147,  
O.R.C.C.TX.

SEE PAGE 6 OF 6 FOR LEGEND,  
NOTES, AND LINE AND CURVE  
TABLES.

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
9101 Bow-Cross Road, Suite 100, Austin, Texas 78746  
Phone: (512) 382-1188 Fax: (512) 382-0022  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TEPE Firm No. F-14388 | TEPE Firm No. 101208-00

EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623

FILE: H:\Survey\Johnson Ranch\Work\Field Note Sketches\FN1623\_Hastings J.E.rtg  
DATE: Jul 16, 2014-9:14am

PAGE 5 OF 6

# **LEGEND**

- 1/2" IRON ROD FOUND  
UNLESS OTHERWISE NOTED
- CUDE ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "WW CUDE" FOUND
- LAI ● 1/2" IRON ROD W/ PLASTIC CAP  
STAMPED "LAI" PREVIOUSLY SET
- ▲ 40d NAIL FOUND
- TXDOT TYPE I CONCRETE  
MONUMENT FOUND
- ⊙ 3 INCH STEEL PIPE FENCE POST
- △ CALCULATED POINT
- < > RECORD INFORMATION PER  
DOC. NO. 200706046903  
O.R.C.C.TX.
- { } RECORD INFORMATION PER  
DOC. NO. 200606048369  
O.R.C.C.TX.
- [ ] RECORD INFORMATION PER  
DOC. NO. 9706015147  
O.R.C.C.TX.
- O.R.C.C.TX. OFFICIAL RECORDS OF COMAL  
COUNTY, TEXAS
- O.P.R.C.C.TX. OFFICIAL PUBLIC RECORDS OF  
COMAL COUNTY, TEXAS
- ..... DEED LINE

## **NOTES:**

1. BEARING BASIS IS TEXAS COORDINATE SYSTEM, SOUTH  
CENTRAL ZONE, NAD 83, GRID
2. DISTANCES SHOWN HEREON ARE BASED ON SURFACE  
MEASUREMENTS, TO CONVERT SURFACE DISTANCES TO GRID,  
MULTIPLY BY THE COMBINED SCALE FACTOR.
3. THE COMBINED SCALE FACTOR FOR THIS PROJECT IS  
0.99984.

## **LINE TABLE**

LINE #	BEARING	DISTANCE
L1	N 01°15'22" W	59.74'
<L1>	<S 01°15'25" E>	<59.75'>
L2	N 88°14'49" E	11.33'
<L2>	<S 88°13'14" W>	<11.32'>
{L2}	{S 82°50'52" W}	{11.15'}
[L2]	[N 82°36'08" E]	[11.15']
L3	N 00°29'37" E	53.59'
<L3>	<S 00°30'26" W>	<53.58'>
{L3}	{S 01°28'41" W}	{52.36'}
[L3]	[N 01°13'57" E]	[52.36']
L4	N 20°43'33" E	27.42'
[L4]	[N 21°01'12" E]	[27.31']
L5	N 89°01'28" W	16.44'
<L5>	<S 89°09'04" E>	<16.66'>
{L5}	{S 89°30'00" E}	{16.84'}
[L5]	[N 88°54'10" W]	[16.54']
L6	N 49°58'22" E	144.23'
L7	S 01°15'22" E	134.34'
L8	S 22°49'09" E	65.44'
L9	S 55°33'08" W	131.70'
L10	S 55°33'09" W	793.55'
L11	S 55°33'09" W	364.42'

## **CURVE TABLE**

CURVE #	RADIUS	ARC DISTANCE	CHORD BEARING	CHORD DISTANCE
C1	1950.10'	175.93'	N 64°11'37" E	175.87'
C2	1950.10'	382.50'	S 61°09'27" W	381.99'
C3	1950.10'	461.07'	N 73°33'05" E	456.99'
	[1950.10']		[S 68°19'48" W]	[835.98']

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
3001 Ross Cove Road, Suite 100, Austin, Texas 78746  
Phone: (512) 322-1199 Fax: (512) 322-1682  
www.bowmanconsulting.com © Bowman Consulting Group, Ltd.

TBPE Firm No. P-14309 / TBPS Firm No. 101206-06

**EXHIBIT TO ACCOMPANY  
FIELD NOTES FN1623**

FILE: H:\Survey\Johnson Ranch\Work\Field Note Sketches\FN1623\_Hastings U.L.dwg  
DATE: Jul 16, 2014 - 9:14am

**JOHNSON RANCH MUNICIPAL UTILITY DISTRICT  
OF COMAL COUNTY, TEXAS  
MINUTES OF MEETING OF THE BOARD OF DIRECTORS**

**December 8, 2015**

---

The Board of Directors of the Johnson Ranch Municipal Utility District of Comal County, Texas met in regular session, open to the public at 12:00 p.m. on December 8, 2015, at the District Offices located at 30673 Horseshoe Path, Bulverde, Texas, pursuant to notice duly given in accordance with the law.

The roll was called of the following members of the Board to wit:

Brian Baize	President
John Michael Sedlak	Vice President
Thomas Northington	Secretary
Austin Ruple	Treasurer
Jarrett Amerman	Asst. Secretary/Treasurer

and all directors were present, with the exception of Directors Ruple and Amerman, thus constituting a quorum.

Also present were Charlie Hill and Amy Schoemaker of DHJB Development, LLC ("DHJB"), a developer in the District; Paul Barkhurst of Barkhurst & Hinojosa, P.C., the District's Litigation Attorney; Chris Lane of SAMCO Capital Markets, the District's Financial Advisor; Mia Parton, P.E. and Clifton Dayton, P.E., of Bowman Consulting Group, Ltd ("Bowman"), the District's Engineer; Ryan Johnson of Lennar Homes of Texas Land and Construction, Ltd. ("Lennar"); a developer in the District; Kristi Hester and Bill Fry of Severn Trent Services ("ST"); Hal Lanham of AWR Services, Inc. ("AWR"); Patrick King and Robin Bingham of Professional General Management Services, Inc. ("PGMS"); Michelle Lawrence of Maxwell, Locke & Ritter, LLP, ("Maxwell"), the District's Auditor; Allen Douthitt of Bott & Douthitt, the District's Bookkeeper; Sharon Carlson, Cathy Talcott, PCC, and Christina Pena with the Comal County Tax Office, the District's Tax Collector/Assessor; and Phil Haag and Suzanne McCalla of McGinnis Lochridge ("McGinnis"), the District's Attorney.

Upon calling the meeting to order, President Baize noted that there were persons present from the Comal County Tax Office who wished to address the Board.

Ms. Talcott introduced herself, Ms. Carlson and Ms. Pena to the Board. She explained that she wanted the Board to know the persons they would be working with for the collection of the District's taxes. She stated that her office was separate from the Comal County Appraisal District and that her office would compile the information provided by the Appraisal District into tax statements that would be mailed out to District residents in October of each year. She noted that her office would work with customers



to ensure that all accounts were paid. She reviewed with the Board a sample Tax Statement, and she noted that each tax statement had a QR Code on the statement that could be scanned for easier payment of the amounts due. A copy of the Tax Statement is attached hereto as an exhibit to these minutes. Ms. Talcott thanked the Board for their time, and Ms. Talcott, Ms. Carlson, and Ms. Pena departed the meeting.

Next, the Board heard proposals for the position of General Manager for the District.

First, Mr. Lanham addressed the Board. He presented his proposal, and he stated that he had been involved with the creation of over 30 municipal utility districts ("MUDS"). He continued that he was experienced in working with districts during the beginning stages of a district's development. Mr. Lanham explained that he was in the business of managing MUDS for over 25 years, and he reviewed with the Board a list of AWR personnel that would also be working with the District. He noted that AWR was licensed by the Texas Commission on Environmental Quality (the "Commission") and that AWR had numerous contacts within the organization. Mr. Lanham then listed the services that AWR would provide for the District, as detailed in AWR's proposal. Mr. Lanham then thanked the Board and departed the meeting.

The Board next heard from Mr. King, who stated that he had been in the water business for over 41 years and had been an operator for 19 of those years. He explained that he had worked with the Commission and was very familiar with their requirements. He listed his professional affiliations, including the Association of Water Board Directors – Texas and the Texas Rural Water Association. He introduced Ms. Bingham, and he noted that she was the head of the bookkeeping department at PGMS. Mr. King continued that PGMS employed 26 skilled, technical, and professional staff members that would be available to work with the District. After questions from the Board, Mr. King and Ms. Bingham thanked the Board for their time and departed the meeting.

Lastly, the Board heard from Mr. Fry who explained that ST had submitted a proposal for General Manager of the District at the last Board meeting and that the information presented remained the same. He highlighted the provisions as detailed in ST's proposal, and he reminded the Board that he had 32 years of experience working with MUDs and that Ms. Hester had 11 years of experience. He continued that, if hired, Ms. Hester would attend the District's meetings, coordinate with the District's consultants, and provide necessary reports to the Board and to the District's Attorney. He emphasized that ST focused on customer service and maintaining excellent communication with customers. He noted that ST was familiar with working with the Guadalupe-Blanco River Authority (the "GBRA") and the Commission and was experienced with compliance requirements. He emphasized that ST welcomed the opportunity to work with the District. Mr. Fry and Ms. Hester then thanked the Board and departed the meeting.

Ms. Lawrence then submitted the draft of the audit report for the District for the fiscal year ended August 31, 2014. She reviewed the Statement of Net Position and

Revenues and Expenses, Expenditures, and Changes in Fund Deficits. Ms. Lawrence reviewed the supporting data included in the audit report, including information required by the Commission.

Ms. Lawrence then called the Board's attention to the form of the Management Representation Letter from Bout & Douthitt, attached to Maxwell's Governance Letter. She reported that Maxwell was issuing an unmodified opinion, which was the highest opinion the District can receive.

After consideration, upon a motion duly made by Director Baize and seconded by Director Sedlak, the Board voted unanimously to approve the audit report and to authorize the District's Attorney to file the audit report with the Commission, in the District's office, and with all other governmental agencies as required. A copy of the Letter of Representations is attached hereto and shall be considered to be a part of these minutes. A copy of the audit report, thus approved, is filed in the permanent records of the District.

Next, the Board considered the RESOLUTION AMENDING RESOLUTION NO. 15-0616-1 REGARDING DISTRICT ADMINISTRATIVE OFFICE AND MEETING PLACES AND AUTHORIZING THE FILING OF A COPY OF THIS RESOLUTION WITH THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY. Ms. McCalla noted that the Resolution was being amended to include the Bulverde Spring Branch Fire Station No. 3 (the "Fire Station") as a meeting location for future meetings of the District. The Board noted that the Fire Station was a more accessible location for the District's Board meetings. After a motion duly made by Director Northington and seconded by Director Baize, the Board voted unanimously to approve the Resolution as presented. A copy of Resolution amending the District's meeting places is attached hereto as an exhibit to these minutes.

Mr. Haag next presented for the Board's review a Waiver of Special Appraisal (the "Waiver") between the District and DHJB that waives DHJB's right to claim agricultural, open-space, timberland, or inventory valuation for any land, homes, or buildings that DHJB owns in the District with respect to taxation by the District. He continued that the Waiver was required to be executed and recorded in the real property records of Comal County prior to the District's submission of a Bond Application Report to the Commission. After a brief discussion and a motion duly made by Director Sedlak and seconded by Director Northington, the Board voted unanimously to approve the Waiver as presented. A copy of the Waiver is attached hereto as an exhibit to these minutes.

Next, the Board considered the need to adopt an investment policy and investment strategies, pursuant to the requirements of the Texas Public Funds Investment Act (the "ACT"). Ms. McCalla presented an ORDER DESIGNATING INVESTMENT OFFICER AND ESTABLISHING RULES AND POLICIES FOR THE INVESTMENT OF DISTRICT FUNDS AND REVIEW OF INVESTMENTS (the "Investment Policy") for the Board's review. Mr. Haag summarized the requirements

pursuant to the Act. He stated that the Investment Policy, including the investment strategies, were fairly general but conservative and complied with the requirements of the Act. Ms. McCalla explained that the Investment Policy listed the District's Bookkeeper, Allen Douthitt, as the District's Investment Officer. After review and discussion, upon a motion duly made by Director Baize and seconded by Director Sedlak, the Board voted unanimously to approve the Investment Policy as presented. A copy of the Investment Policy is attached hereto and shall be considered an exhibit to these minutes.

Ms. McCalla next reviewed with the Board a memorandum from McGinnis listing the key dates for the District's May 7, 2016, Directors Election (the "Election"). She noted that Directors Ruple and Sedlak were up for reelection. She pointed out that the District would need to call the Election prior to February 19, 2016. A copy of the memorandum is attached hereto as an exhibit to these minutes.

The Board next reviewed Conflict of Interest Waivers (the "Waivers") for Bowman to DHJB, Lennar, and the District pursuant to the Engineering Practices Act, Sections 137.57(c) and (d). After review, upon a motion duly made by Director Baize and seconded by Director Sedlak, the Board voted unanimously to accept the Waivers as presented. Copies of the Waivers are attached as exhibits to these minutes.

The next item of business was the approval of the Consent Agenda, containing the minutes of the September 16, 2015, Board meeting. Upon a motion duly made by Director Baize and seconded by Director Sedlak, the Board voted unanimously to approve the minutes of the September 16, 2015, Board of Directors meeting, as submitted.

Mr. Douthitt then reviewed the Cash Activity Report, including a list of disbursements, with the Board. He noted several payments to the Guadalupe Blanco River Authority for water and wastewater services provided to the District. Mr. Douthitt recalled that an Operations account and a Tax Collections account had been set up in the name of the District and that in the future a Tex-Pool Investment Account would be set up to help facilitate the District's funds. Continuing his report, Mr. Allen reviewed the income to the District, summarized the activity in each of the District's accounts, and listed the balance in each account. The Board completed the review of the invoices to the District and the checks prepared in payment thereof. After a motion duly made by Director Baize and seconded by Director Northington, the Board voted unanimously to: (1) approve the Cash Activity Report; (2) authorize payment of the District's bills; and (3) approve transfer of \$40,000 to the Bookkeeper's Account. A copy of the Cash Activity Report is attached as an exhibit to these minutes.

Next, Mr. Johnson presented Pay Application No. 18 from SACC, Inc. ("SACC"), in the amount of \$102,465.00 and Change Order Nos. 4 and 5 in the amounts of \$113,850.00 and \$126,121.31, respectively, for the Johnson Ranch North Master Tract, Phase 2, Units 1 through 4. He also presented Pay Application Nos. 6, 7, 8, and 9 from SACC in the amount of \$236,826.39, \$69,753.35, \$144,854.40, and \$195,988.09,



respectively, and Change Order No. 1 in the amount of \$8,343.88 for Johnson Ranch North Master Tract, Phase 2, Units 5, 6, 7 and 10. Letters from Bowman recommending approval of the pay applications and change orders as detailed above were also submitted for the Board's review. Based on the recommendation of the District's Engineer, after a motion duly made by Director Sedlak and seconded by Director Northington, the Board voted unanimously to approve all pay applications and change orders as presented by Lennar. Copies of all pay applications and change orders from SACC, thus approved, are attached to these minutes as exhibits.

Mr. Hill then presented Pay Application No. 8 and Final Pay Application No. 9 from DNT Construction, LLC ("DNT") in the amount of \$686.61 and \$40,233.45, respectively, for Johnson Ranch South, Unit 1, Phase 2. He also reviewed with the Board Pay Application No. 12 in the amount of \$13,781.71 and Final Pay Application No. 13 in the amount of \$106,241.29 from Waste Water Operations for the wastewater treatment plant located in the District (the "WWTP"). Mr. Hill noted that letters were included with the pay applications from Aldo Sotilelo, P.E. of BURY, Inc., certifying that the project was completed in accordance with project plans and the rules of the Commission. Upon a motion duly made by Director Sedlak and seconded by Director Northington, the Board voted unanimously to approve Pay Application No. 8 and Final Pay Application No. 9 from DNT and Pay Application No. 12 and Final Pay Application No. 13 from Waste Water Operations, as recommended. Copies of all pay orders presented are attached hereto and shall be considered exhibits to these minutes.

Mr. Hill next distributed for the Board's review the Commission's Authorization for Reclaimed Water, a copy of which is attached hereto. He reminded the Board that DHJB was required to submit a plan for reuse of the effluent from the wastewater treatment plant to the Commission pursuant to the Commission's Rules (30 TAC § 210) (the "210 Authorization").

Mr. Hill then reported that the pace of development in the District was good and that there were approximately 140 homes completed in the District and 230 homes in progress.

Ms. Lane next updated the Board on the status of the District's Series 2016 Unlimited Tax Bonds (the "Bonds"). She noted that the District would need to hire Disclosure Counsel for the sale of the Bonds at the District's next meeting. Ms. McCalla agreed to add an item to the District's agenda for the January 28, 2016 Board of Directors meeting.

Next, Mr. Haag reported on the status of the contested case regarding DHJB's application to Commission to amend its Texas Pollutant Discharge Elimination System (TPDES) permit. He recalled that the final order authorizing amending the permit (the "Order") was approved at the Commission hearing on September 9, 2015. Mr. Haag noted that it was likely that the decision would be appealed.

The Board then considered the permitting and construction of the District's storm water project located on unnamed tributaries 20 and 21 of Cibolo Creek, including the Commission's Edwards Aquifer Pollution Abatement Permit, the U.S. Army Corps of Engineers Permit, and the Comal County Floodplain Permit, in addition to other related and necessary permits. After discussion and a motion duly made by Director Northington and seconded by Director Sedlak, the Board voted unanimously to approve the preparation and filing of all applications necessary for the permitting and construction of the District's storm water project as requested by the District's Engineer.

Next, the Board entered into an executive session at 1:20 p.m., pursuant to V.T.C.A. Government Code, Chapter 551.071, to discuss pending litigation with Patricia Lux Graham and Margie Hastings. The Board reconvened in open session at 1:31 p.m. No action was taken on the items discussed in executive session.

The Board then discussed the engagement of a General Manager for the District. After discussion, upon a motion duly made by Director Baize and seconded by Director Sedlak, the Board voted unanimously to (1) approve the proposal presented by ST; and (2) authorize Director Baize to execute the contract with ST after review and approval by the District's Attorney. A copy of the proposal, thus approved, is attached hereto as an exhibit to these minutes.

The Directors agreed to schedule the next meeting on January 28,, 2016, at 12:00 p.m. There being no further business to come before the Board, the meeting was adjourned.



A handwritten signature in black ink, appearing to be "D. Baize", written over a horizontal line.

Secretary, Board of Directors  
Johnson Ranch Municipal Utility District

## **JOHNSON RANCH MUNICIPAL UTILITY DISTRICT**

December 12, 2015  
Attachments

1. Comal County Tax Assessor/Collector Information;
2. Management Letter from Maxwell Locke & Ritter;
3. Meeting Place Resolution;
4. Investment Policy;
5. Memorandum of Key Dates for the 2016 Directors Election;
6. Conflict of Interest Waivers to Lennar and DHJB;
7. Cash Activity Report;
8. Pay Applications and Change Orders from Lennar;
9. Pay Applications from DHJB;
10. Commission Authorization for Reclaimed Water to DHJB; and
11. Proposal to provide management services from Severn Trent;







Bryan W. Shaw, Ph.D., *Chairman*  
Toby Baker, *Commissioner*  
Jon Niermann, *Commissioner*  
Richard A. Hyde, P.E., *Executive Director*



## TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

*Protecting Texas by Reducing and Preventing Pollution*

April 25, 2016

RECEIVED

APR 27 2016

Mr. Thomas H. Hornseth, P.E.  
Comal County Engineer  
195 David Jonas Drive  
New Braunfels TX 78132-3710

COUNTY ENGINEER

Re: Edwards Aquifer, Comal County  
PROJECT NAME: Johnson Ranch Stormwater Channel Improvements, located on the northeast corner of US Highway 281 and FM 1863, Bulverde, Texas

PLAN TYPE: Application for Approval of a Water Pollution Abatement Plan (WPAP)  
30 Texas Administration Code (TAC) Chapter 213; Edwards Aquifer Protection Program

Dear Mr. Hornseth:

The referenced application is being forwarded to you pursuant to the Edwards Aquifer Rules. The Texas Commission on Environmental Quality (TCEQ) is required by 30 TAC Chapter 213 to provide copies of all applications to affected incorporated cities and underground water conservation districts for their comments prior to TCEQ approval. More information regarding this project may be obtained from the TCEQ Central Registry website at [http://www.tceq.state.tx.us/permitting/central\\_registry/](http://www.tceq.state.tx.us/permitting/central_registry/).

Please forward your comments to this office by May 25, 2016.

The Texas Commission on Environmental Quality appreciates your assistance in this matter and your compliance efforts to ensure protection of the State's environment. If you or members of your staff have any questions regarding these matters, please feel free to contact the San Antonio Region Office at (210) 490-3096.

Sincerely

A handwritten signature in blue ink, appearing to read "Todd Jones".

Todd Jones, Water Section Work Leader  
San Antonio Regional Office

TJ/eg

# **Water Pollution Abatement Plan Permit Application**

## **Johnson Ranch Stormwater Channel Improvements**

RECEIVED  
TCEQ-R13 (EAPP)

APR 25 2016

SAN ANTONIO

Prepared for:

### **Johnson Ranch Municipal Utility District**

600 Congress Ave., Suite 2100

Austin, TX 78701

Prepared by:

**Bowman**  
CONSULTING

Bowman Consulting Group Ltd.  
1120 S. Capital of Texas Hwy.  
Building 3, Suite 220  
Austin, Texas 78746



## **Water Pollution Abatement Plan Checklist**

☒ **Edwards Aquifer Application Cover Page (TCEQ-20705)**

☒ **General Information Form (TCEQ-0587)**

Attachment A - Road Map

Attachment B - USGS / Edwards Recharge Zone Map

Attachment C - Project Description

☒ **Geologic Assessment Form (TCEQ-0585)**

Attachment A - Geologic Assessment Table (TCEQ-0585-Table)

Comments to the Geologic Assessment Table

Attachment B - Soil Profile and Narrative of Soil Units

Attachment C - Stratigraphic Column

Attachment D - Narrative of Site Specific Geology

Site Geologic Map(s)

Table or list for the position of features' latitude/longitude (if mapped using GPS)

☒ **Water Pollution Abatement Plan Application Form (TCEQ-0584)**

Attachment A - Factors Affecting Water Quality

Attachment B - Volume and Character of Stormwater

Attachment C - Suitability Letter from Authorized Agent (if OSSF is proposed)

Attachment D - Exception to the Required Geologic Assessment (if requesting an exception)

Site Plan

☒ **Temporary Stormwater Section (TCEQ-0602)**

Attachment A - Spill Response Action;

Attachment B - Potential Sources of Contamination

Attachment C - Sequence of Major Activities

Attachment D - Temporary Best Management Practices and Measures

Attachment E - Request to Temporarily Seal a Feature, if sealing a feature

Attachment F - Structural Practices

Attachment G - Drainage Area Map

Attachment H - Temporary Sediment Pond(s) Plans and Calculations

Attachment I - Inspection and Maintenance for BMPs

Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices

☒ **Permanent Stormwater Section (TCEQ-0600)**

Attachment A - 20% or Less Impervious Cover Waiver, if project is multi-family residential, a school, or a small business and 20% or less impervious cover is proposed for the site

Attachment B - BMPs for Upgradient Stormwater

Attachment C - BMPs for On-site Stormwater

Attachment D - BMPs for Surface Streams

Attachment E - Request to Seal Features (if sealing a feature)

Attachment F - Construction Plans

Attachment G - Inspection, Maintenance, Repair and Retrofit Plan

Attachment H - Pilot-Scale Field Testing Plan, if BMPs not based on Complying with the Edwards Aquifer Rules: Technical Guidance for BMPs

Attachment I - Measures for Minimizing Surface Stream Contamination

- ☒ **Agent Authorization Form (TCEQ-0599), if application submitted by agent**
- ☒ **Application Fee Form (TCEQ-0574)**
- ☒ **Check Payable to the "Texas Commission on Environmental Quality"**
- ☒ **Core Data Form (TCEQ-10400)**

**EDWARDS AQUIFER APPLICATION COVER PAGE**  
**(TCEQ-20705)**



## Edwards Aquifer Application Cover Page

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### Our Review of Your Application

The Edwards Aquifer Program staff conducts an administrative and technical review of all applications. The turnaround time for administrative review can be up to 30 days as outlined in 30 TAC 213.4(e). Generally administrative completeness is determined during the intake meeting or within a few days of receipt. The turnaround time for technical review of an administratively complete Edwards Aquifer application is 90 days as outlined in 30 TAC 213.4(e). Please know that the review and approval time is directly impacted by the quality and completeness of the initial application that is received. In order to conduct a timely review, it is imperative that the information provided in an Edwards Aquifer application include final plans, be accurate, complete, and in compliance with 30 TAC 213.

### Administrative Review

1. Edwards Aquifer applications must be deemed administratively complete before a technical review can begin. To be considered administratively complete, the application must contain completed forms and attachments, provide the requested information, and meet all the site plan requirements. The submitted application and plan sheets should be final plans. Please submit one full-size set of plan sheets with the original application, and half-size sets with the additional copies.

To ensure that all applicable documents are included in the application, the program has developed tools to guide you and web pages to provide all forms, checklists, and guidance. Please visit the below website for assistance: <http://www.tceq.texas.gov/field/eapp>.

2. This Edwards Aquifer Application Cover Page form (certified by the applicant or agent) must be included in the application and brought to the administrative review meeting.
3. Administrative reviews are scheduled with program staff who will conduct the review. Applicants or their authorized agent should call the appropriate regional office, according to the county in which the project is located, to schedule a review. The average meeting time is one hour.
4. In the meeting, the application is examined for administrative completeness. Deficiencies will be noted by staff and emailed or faxed to the applicant and authorized agent at the end of the meeting, or shortly after. Administrative deficiencies will cause the application to be deemed incomplete and returned.

An appointment should be made to resubmit the application. The application is re-examined to ensure all deficiencies are resolved. The application will only be deemed administratively complete when all administrative deficiencies are addressed.

5. If an application is received by mail, courier service, or otherwise submitted without a review meeting, the administrative review will be conducted within 30 days. The applicant and agent will be contacted with the results of the administrative review. If the application is found to be administratively incomplete, it can be retrieved from the regional office or returned by regular mail. If returned by mail, the regional office may require arrangements for return shipping.
6. If the geologic assessment was completed before October 1, 2004 and the site contains "possibly sensitive" features, the assessment must be updated in accordance with the *Instructions to Geologists* (TCEQ-0585 Instructions).

### Technical Review

1. When an application is deemed administratively complete, the technical review period begins. The regional office will distribute copies of the application to the identified affected city, county, and groundwater conservation district whose jurisdiction includes the subject site. These entities and the public have 30 days to provide comments on the application to the regional office. All comments received are reviewed by TCEQ.



2. A site assessment is usually conducted as part of the technical review, to evaluate the geologic assessment and observe existing site conditions. The site must be accessible to our staff. The site boundaries should be clearly marked, features identified in the geologic assessment should be flagged, roadways marked and the alignment of the Sewage Collection System and manholes should be staked at the time the application is submitted. If the site is not marked the application may be returned.
3. We evaluate the application for technical completeness and contact the applicant and agent via Notice of Deficiency (NOD) to request additional information and identify technical deficiencies. There are two deficiency response periods available to the applicant. There are 14 days to resolve deficiencies noted in the first NOD. If a second NOD is issued, there is an additional 14 days to resolve deficiencies. If the response to the second notice is not received, is incomplete or inadequate, or provides new information that is incomplete or inadequate, the application must be withdrawn or if not withdrawn the application will be denied and the application fee will be forfeited.
4. The program has 90 calendar days to complete the technical review of the application. If the application is technically adequate, such that it complies with the Edwards Aquifer rules, and is protective of the Edwards Aquifer during and after construction, an approval letter will be issued. Construction or other regulated activity may not begin until an approval is issued.

### Mid-Review Modifications

It is important to have final site plans prior to beginning the permitting process with TCEQ to avoid delays.

Occasionally, circumstances arise where you may have significant design and/or site plan changes after your Edwards Aquifer application has been deemed administratively complete by TCEQ. This is considered a "Mid-Review Modification". Mid-Review Modifications may require redistribution of an application that includes the proposed modifications for public comment.

If you are proposing a Mid-Review Modification, two options are available to you:

- You can withdraw your application, and your fees will be refunded or credited for a resubmittal.
- TCEQ can continue the technical review of the application as it was submitted, and a modification application can be submitted at a later time.

If the application is withdrawn, the resubmitted application will be subject to the administrative and technical review processes and will be treated as a new application. The application will be redistributed to the effected jurisdictions.

Please contact the regional office if you have questions. If your project is located in Williamson, Travis, or Hays County, contact TCEQ's Austin Regional Office at 512-339-2929. If your project is in Comal, Bexar, Medina, Uvalde, or Kinney County, contact TCEQ's San Antonio Regional Office at 210-490-3096

Please fill out all required fields below and submit with your application.

<b>1. Regulated Entity Name:</b> Johnson Ranch Stormwater Channel Improvements				<b>2. Regulated Entity No.:</b> 105332522							
<b>3. Customer Name:</b> Johnson Ranch Municipal Utility District				<b>4. Customer No.:</b>							
<b>5. Project Type:</b> (Please circle/check one)		New		Modification		Extension		Exception			
<b>6. Plan Type:</b> (Please circle/check one)		WPAP		CZP	SCS	UST	AST	EXP	EXT	Technical Clarification	Optional Enhanced Measures
<b>7. Land Use:</b> (Please circle/check one)		Residential		Non-residential				<b>8. Site (acres):</b>		3.60 AC	
<b>9. Application Fee:</b>		\$1,500.00		<b>10. Permanent BMP(s):</b>				0			
<b>11. SCS (Linear Ft.):</b>		0		<b>12. AST/UST (No. Tanks):</b>				0			
<b>13. County:</b>		Comal		<b>14. Watershed:</b>				Headwaters Cibolo Creek			



## Application Distribution

Instructions: Use the table below to determine the number of applications required. One original and one copy of the application, plus additional copies (as needed) for each affected incorporated city, county, and groundwater conservation district are required. Linear projects or large projects, which cross into multiple jurisdictions, can require additional copies. Refer to the "Texas Groundwater Conservation Districts within the EAPP Boundaries" map found at:

[http://www.tceq.texas.gov/assets/public/compliance/field\\_ops/eapp/EAPP%20GWCD%20map.pdf](http://www.tceq.texas.gov/assets/public/compliance/field_ops/eapp/EAPP%20GWCD%20map.pdf)

For more detailed boundaries, please contact the conservation district directly.

Austin Region			
County:	Hays	Travis	Williamson
Original (1 req.)	—	—	—
Region (1 req.)	—	—	—
County(ies)	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Barton Springs/ Edwards Aquifer <input type="checkbox"/> Hays Trinity <input type="checkbox"/> Plum Creek	<input type="checkbox"/> Barton Springs/ Edwards Aquifer	NA
City(ies) Jurisdiction	<input type="checkbox"/> Austin <input type="checkbox"/> Buda <input type="checkbox"/> Dripping Springs <input type="checkbox"/> Kyle <input type="checkbox"/> Mountain City <input type="checkbox"/> San Marcos <input type="checkbox"/> Wimberley <input type="checkbox"/> Woodcreek	<input type="checkbox"/> Austin <input type="checkbox"/> Bee Cave <input type="checkbox"/> Pflugerville <input type="checkbox"/> Rollingwood <input type="checkbox"/> Round Rock <input type="checkbox"/> Sunset Valley <input type="checkbox"/> West Lake Hills	<input type="checkbox"/> Austin <input type="checkbox"/> Cedar Park <input type="checkbox"/> Florence <input type="checkbox"/> Georgetown <input type="checkbox"/> Jerrell <input type="checkbox"/> Leander <input type="checkbox"/> Liberty Hill <input type="checkbox"/> Pflugerville <input type="checkbox"/> Round Rock

San Antonio Region					
County:	Bexar	Comal	Kinney	Medina	Uvalde
Original (1 req.)	—	—	—	—	—
Region (1 req.)	—	—	—	—	—
County(ies)	—	—	—	—	—
Groundwater Conservation District(s)	<input type="checkbox"/> Edwards Aquifer Authority <input type="checkbox"/> Trinity-Glen Rose	<input checked="" type="checkbox"/> Edwards Aquifer Authority	<input type="checkbox"/> Kinney	<input type="checkbox"/> EAA <input type="checkbox"/> Medina	<input type="checkbox"/> EAA <input type="checkbox"/> Uvalde
City(ies) Jurisdiction	<input type="checkbox"/> Castle Hills <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Helotes <input type="checkbox"/> Hill Country Village <input type="checkbox"/> Hollywood Park <input type="checkbox"/> San Antonio (SAWS) <input type="checkbox"/> Shavano Park	<input checked="" type="checkbox"/> Bulverde <input type="checkbox"/> Fair Oaks Ranch <input type="checkbox"/> Garden Ridge <input type="checkbox"/> New Braunfels <input type="checkbox"/> Schertz	NA	<input type="checkbox"/> San Antonio ETJ (SAWS)	NA

I certify that to the best of my knowledge, that the application is complete and accurate. This application is hereby submitted to TCEQ for administrative review and technical review.

Tracy Bratton, P.E./ Bowman Consulting

Print Name of Customer/Authorized Agent

  
Signature of Customer/Authorized Agent

4-7-2016  
Date

**FOR TCEQ INTERNAL USE ONLY**			
Date(s) Reviewed:		Date Administratively Complete:	
Received From:		Correct Number of Copies:	
Received By:		Distribution Date:	
EAPP File Number:		Complex:	
Admin. Review(s) (No.):		No. AR Rounds:	
Delinquent Fees (Y/N):		Review Time Spent:	
Lat./Long. Verified:		SOS Customer Verification:	
Agent Authorization Complete/Notarized (Y/N):		Fee Check:	Payable to TCEQ (Y/N):
Core Data Form Complete (Y/N):			Signed (Y/N):
Core Data Form Incomplete Nos.:			Less than 90 days old (Y/N):



**GENERAL INFORMATION FORM**

**(TCEQ-0585)**

# General Information Form

## Texas Commission on Environmental Quality

For Regulated Activities on the Edwards Aquifer Recharge and Transition Zones and Relating to 30 TAC §213.4(b) & §213.5(b)(2)(A), (B) Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **General Information Form** is hereby submitted for TCEQ review. The application was prepared by:

Print Name of Customer/Agent: Tracy Bratton, P.E.

Date: 4-7-16

Signature of Customer/Agent:



## Project Information

1. Regulated Entity Name: Johnson Ranch Municipal Utility District
2. County: Comal
3. Stream Basin: Cibolo Creek
4. Groundwater Conservation District (If applicable) : 99 - Comal Trinity GCD 6 17 15 (Per March 2016 Map)
5. Edwards Aquifer Zone:
  - ☒ Recharge Zone
  - ☐ Transition Zone
6. Plan Type:
  - ☒ WPAP
  - ☐ SCS
  - ☐ Modification
  - ☐ AST
  - ☐ IJST
  - ☐ Exception Request



7. Customer (Applicant):

Contact Person: Brian Baize

Entity: Johnson Ranch Municipal Utility District

Mailing Address: 270 N. Loop 1604 E., Suite 100

City, State: San Antonio, TX

Zip: 78232

Telephone: (210) 482-3505

FAX: N/A

Email Address: Brian.baize@ctt.com

8. Agent/Representative (If any):

Contact Person: Tracy Bratton, P.E.

Entity: Bowman Consulting

Mailing Address: 1120 S. Capital of Texas Hwy. Bldg. 3, Ste 220

City, State: Austin, TX

Zip: 78746

Telephone: (512) 327-1180

FAX: (512) 327-4062

Email Address: tbratton@bowmancg.com

9. Project Location:

- ☐ The project site is located inside the city limits of \_\_\_\_.
- ☒ The project site is located outside the city limits but inside the ETJ (extra-territorial jurisdiction) of Bulverde, TX
- ☐ The project site is not located within any city's limits or ETJ.

10. ☒ The location of the project site is described below. The description provides sufficient detail and clarity so that the TCEQ's Regional staff can easily locate the project and site boundaries for a field investigation.

The project is situated in the northeast corner of the intersection of US 281 and FM 1863 in southern Comal County. From TCEQ San Antonio Regional Office, go north on Judson Road for 2.5 miles, take TX 1604 Loop west for 4.4 miles, then take US 281 north for 9.6 miles. The site will be located 0.5 miles down FM 1863, on the left.

11. ☒ **Attachment A – Road Map.** A road map showing directions to and the location of the project site is attached. The project location and site boundaries are clearly shown on the map.

12. ☒ **Attachment B - USGS / Edwards Recharge Zone Map.** A copy of the official 7 ½ minute USGS Quadrangle Map (Scale: 1" = 2000') of the Edwards Recharge Zone is attached. The map(s) clearly show:

- ☒ Project site boundaries.
- ☒ USGS Quadrangle Name(s).
- ☒ Boundaries of the Recharge Zone (and Transition Zone, if applicable).
- ☒ Drainage path from the project site to the boundary of the Recharge Zone.

13. ☒ **The TCEQ must be able to inspect the project site or the application will be returned.** Sufficient survey staking is provided on the project to allow TCEQ regional staff to locate the boundaries and alignment of the regulated activities and the geologic or manmade features noted in the Geologic Assessment.

☐ Survey staking will be completed by this date: \_\_\_\_

14. ☒ **Attachment C – Project Description.** Attached at the end of this form is a detailed narrative description of the proposed project. The project description is consistent throughout the application and contains, at a minimum, the following details:

- ☒ Area of the site
- ☒ Offsite areas
- ☒ Impervious cover
- ☒ Permanent BMP(s) Not applicable.
- ☒ Proposed site use
- ☒ Site history
- ☒ Previous development
- ☒ Area(s) to be demolished Not applicable.

15. Existing project site conditions are noted below:

- ☐ Existing commercial site
- ☐ Existing industrial site
- ☐ Existing residential site
- ☐ Existing paved and/or unpaved roads
- ☒ Undeveloped (Cleared)
- ☐ Undeveloped (Undisturbed/Uncleared)
- ☐ Other: \_\_\_\_\_

### ***Prohibited Activities***

16. ☒ I am aware that the following activities are prohibited on the Recharge Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 of this title (relating to Underground Injection Control);
- (2) New feedlot/concentrated animal feeding operations, as defined in 30 TAC §213.3;
- (3) Land disposal of Class I wastes, as defined in 30 TAC §335.1;
- (4) The use of sewage holding tanks as parts of organized collection systems; and
- (5) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41(b), (c), and (d) of this title (relating to Types of Municipal Solid Waste Facilities).
- (6) New municipal and industrial wastewater discharges into or adjacent to water in the state that would create additional pollutant loading.

17. ☒ I am aware that the following activities are prohibited on the Transition Zone and are not proposed for this project:

- (1) Waste disposal wells regulated under 30 TAC Chapter 331 (relating to Underground Injection Control);
- (2) Land disposal of Class I wastes, as defined in 30 TAC §335.1; and



- (3) New municipal solid waste landfill facilities required to meet and comply with Type I standards which are defined in §330.41 (b), (c), and (d) of this title.

### ***Administrative Information***

18. The fee for the plan(s) is based on:

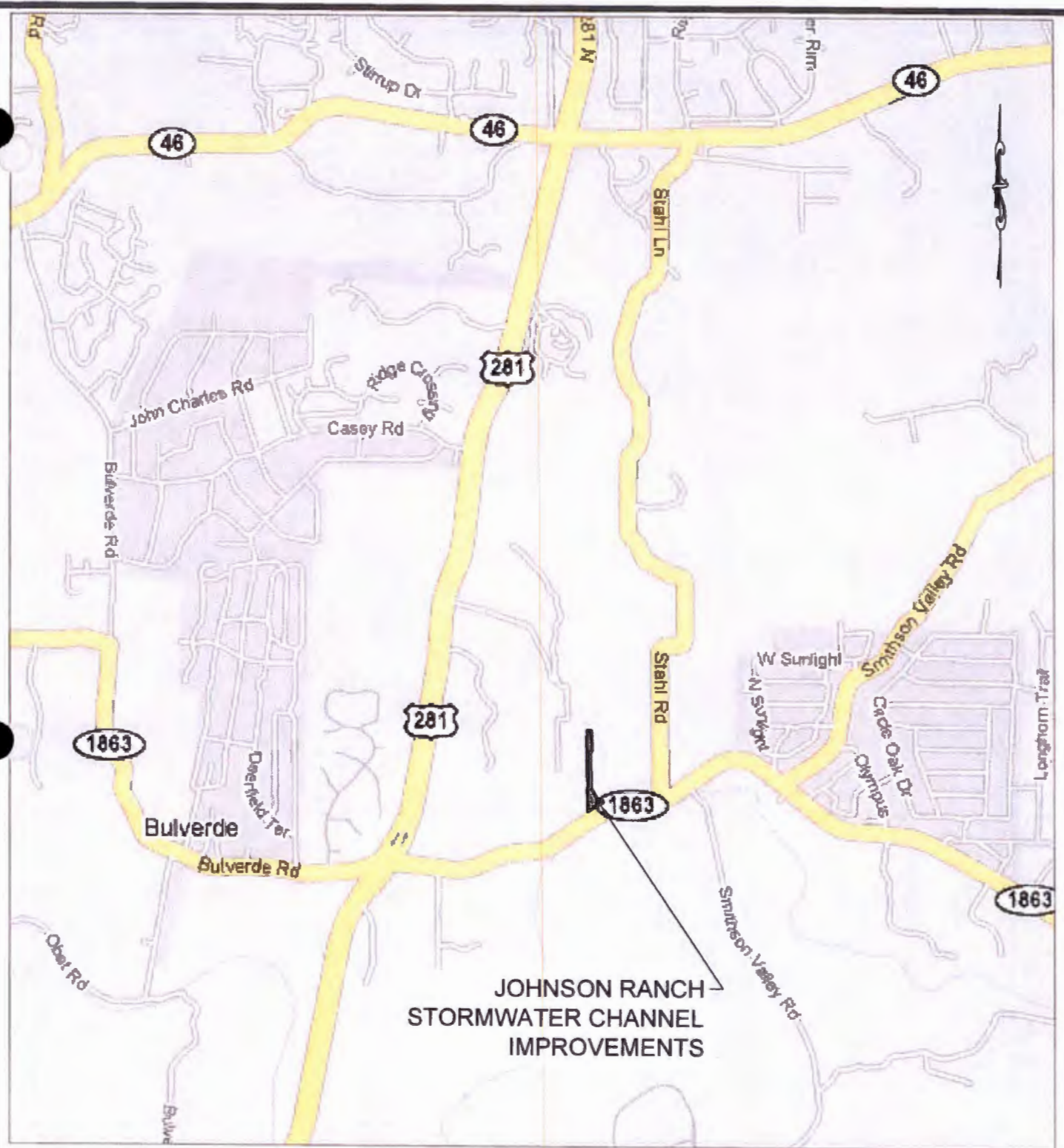
- ☒ For a Water Pollution Abatement Plan or Modification, the total acreage of the site where regulated activities will occur.
- ☐ For an Organized Sewage Collection System Plan or Modification, the total linear footage of all collection system lines.
- ☐ For a UST Facility Plan or Modification or an AST Facility Plan or Modification, the total number of tanks or piping systems.
- ☐ A request for an exception to any substantive portion of the regulations related to the protection of water quality.
- ☐ A request for an extension to a previously approved plan.

19. ☒ Application fees are due and payable at the time the application is filed. If the correct fee is not submitted, the TCEQ is not required to consider the application until the correct fee is submitted. Both the fee and the Edwards Aquifer Fee Form have been sent to the Commission's:

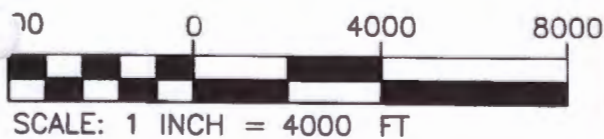
- ☐ TCEQ cashier
- ☐ Austin Regional Office (for projects in Hays, Travis, and Williamson Counties)
- ☒ San Antonio Regional Office (for projects in Bexar, Comal, Kinney, Medina, and Uvalde Counties)

20. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.

21. ☒ No person shall commence any regulated activity until the Edwards Aquifer Protection Plan(s) for the activity has been filed with and approved by the Executive Director.



JOHNSON RANCH  
STORMWATER CHANNEL  
IMPROVEMENTS

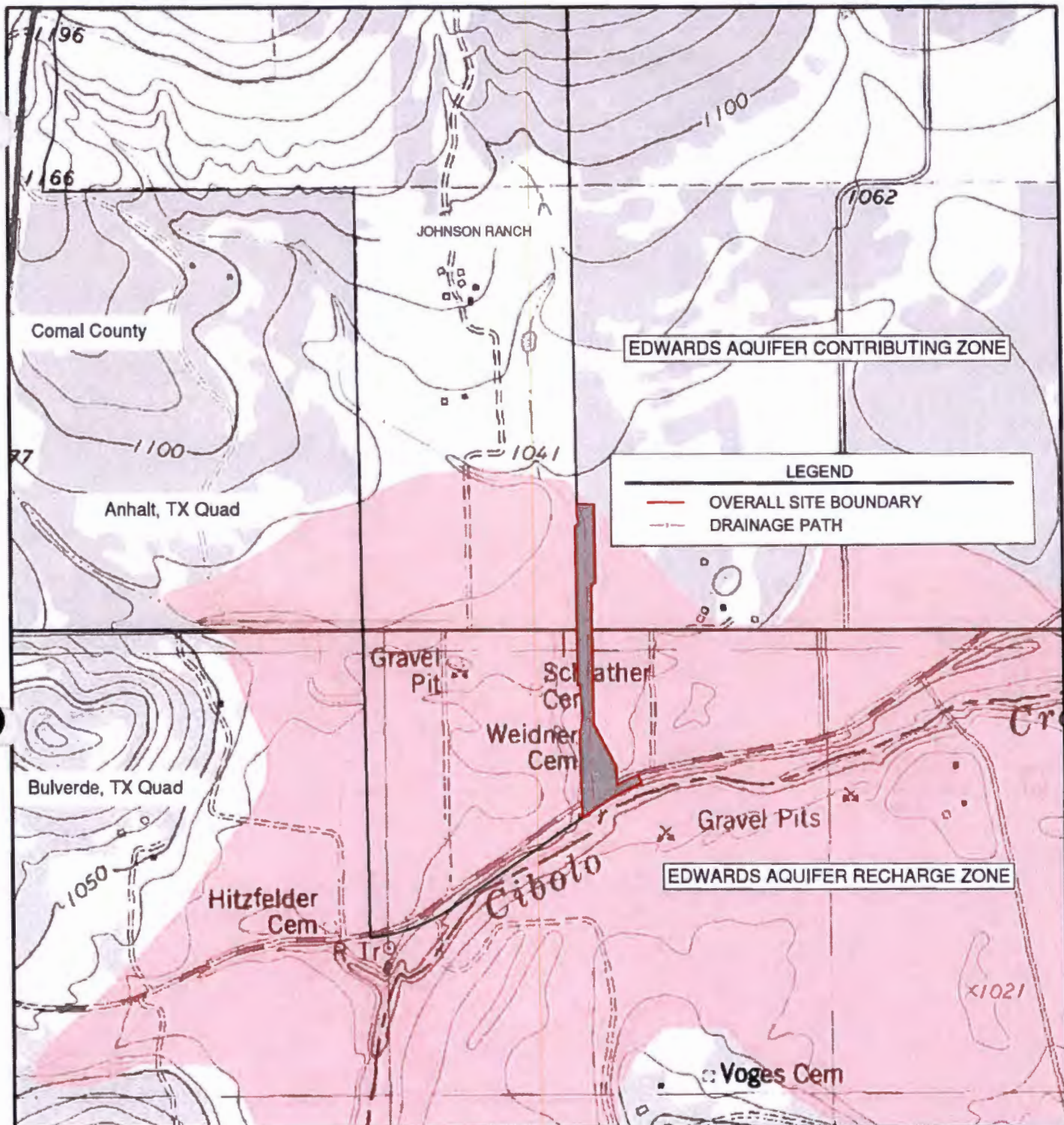


ATTACHMENT A  
ROAD MAP  
JOHNSON RANCH STORMWATER CHANNEL  
IMPROVEMENTS WPAP

**Bowman**  
CONSULTING

3101 Bee Caves Road, Suite 100 • Austin, Texas 78746  
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TBPE Firm Registration No. F-14309





ATTACHMENT B  
USGS / EDWARDS AQUIFER  
RECHARGE ZONE MAP  
MARCH 2016



SCALE: 1 INCH = 1000 FT

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**TCEQ-0587 Attachments**

**Attachment C – Project Description**

The Johnson Ranch Stormwater Channel Improvement Project consists on regrading approximately 3.60 AC of land. This includes approximately 0.189 AC of impervious cover for a concrete weir and erosion control.

The purpose of the channel improvements is to mitigate the water flow originated from the Johnson Ranch Subdivision.

The Johnson Ranch Subdivision (adjacent to this site) is a 751.3 acre low density residential that has approximately 113 acres of Edwards Aquifer Recharge Zone located on the south portion, with an additional 212 acres of land draining towards the Recharge Zone. The drainage system includes a storm sewer system in and along the residential streets, and a ditch system along both sides of the collector road.

As specified in TAC Chapter 213.5(b)(4)(D)(ii)(III) where a site is used for low density single-family development and has 20% impervious cover or less, other permanent BMPs are not required.



**GEOLOGIC ASSESSMENT FORM**  
**(TCEQ-0585)**



**Narrative Description of Site Specific Geology for the  
Approximately 7-Acre Johnson Ranch Parcel,  
Bulverde, Comal County, Texas**

Prepared for:  
**Bowman Consulting Group, Ltd.**

Prepared by:  
**Cambrian Environmental**

March 2016



**NARRATIVE DESCRIPTION OF SITE SPECIFIC GEOLOGY FOR THE  
APPROXIMATELY 7-ACRE JOHNSON RANCH PARCEL, BULVERDE, COMAL  
COUNTY, TEXAS**

Prepared for

**BOWMAN CONSULTING GROUP, LTD.**

3101 Bee Cave Road, Suite 100  
Austin, Texas 78746

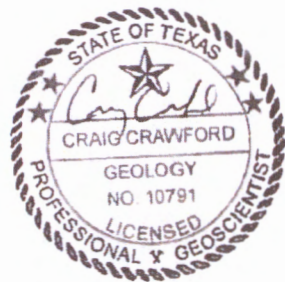
Prepared by

Craig Crawford, P.G.

**CAMBRIAN ENVIRONMENTAL**

4422 Pack Saddle Pass  
Suite 204  
Austin, Texas 78745

Texas Geoscience Firm Registration # 50484



As a licensed professional geoscientist  
I attest that the contents of this report  
are complete and accurate to the best of  
my knowledge.

March 3, 2016

# Geologic Assessment

## Texas Commission on Environmental Quality

For Regulated Activities on The Edwards Aquifer Recharge/transition Zones and Relating to 30 TAC §213.5(b)(3), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. My signature certifies that I am qualified as a geologist as defined by 30 TAC Chapter 213.

Print Name of Geologist: Craig Crawford, PG

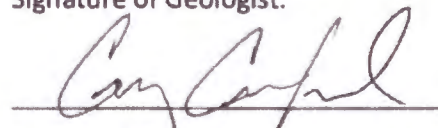
Telephone: 512.705.5541

Date: 3 March 2016

Fax: \_\_\_\_\_

Representing: Cambrian Environmental (Name of Company and TBPG or TBPE registration number)

Signature of Geologist:



Regulated Entity Name: Approximately 7-acre Johnson Ranch Parcel

## Project Information

1. Date(s) Geologic Assessment was performed: 17 September 2015

2. Type of Project:

☒ WPAP

☐ SCS

☐ AST

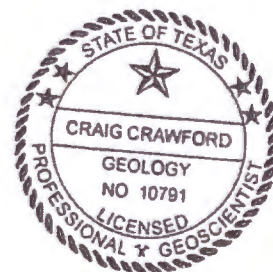
☐ UST

3. Location of Project:

☒ Recharge Zone

☐ Transition Zone

☐ Contributing Zone within the Transition Zone





4. ☒ **Attachment A - Geologic Assessment Table.** Completed Geologic Assessment Table (Form TCEQ-0585-Table) is attached.
5. ☒ Soil cover on the project site is summarized in the table below and uses the SCS Hydrologic Soil Groups\* (Urban Hydrology for Small Watersheds, Technical Release No. 55, Appendix A, Soil Conservation Service, 1986). If there is more than one soil type on the project site, show each soil type on the site Geologic Map or a separate soils map.

**Table 1 - Soil Units, Infiltration Characteristics and Thickness**

Soil Name	Group*	Thickness(feet)
Gruene (GrC)	D	> 5
Krum (KrB)	C	> 5
Sunev (SuA)	B	> 5

**\* Soil Group Definitions (Abbreviated)**

- A. Soils having a high infiltration rate when thoroughly wetted.
- B. Soils having a moderate infiltration rate when thoroughly wetted.
- C. Soils having a slow infiltration rate when thoroughly wetted.
- D. Soils having a very slow infiltration rate when thoroughly wetted.

6. ☒ **Attachment B – Stratigraphic Column.** A stratigraphic column showing formations, members, and thicknesses is attached. The outcropping unit, if present, should be at the top of the stratigraphic column. Otherwise, the uppermost unit should be at the top of the stratigraphic column.
7. ☒ **Attachment C – Site Geology.** A narrative description of the site specific geology including any features identified in the Geologic Assessment Table, a discussion of the potential for fluid movement to the Edwards Aquifer, stratigraphy, structure(s), and karst characteristics is attached.
8. ☒ **Attachment D – Site Geologic Map(s).** The Site Geologic Map must be the same scale as the applicant's Site Plan. The minimum scale is 1": 400'
- Applicant's Site Plan Scale: 1" = 100'
- Site Geologic Map Scale: 1" = 100'
- Site Soils Map Scale (if more than 1 soil type): 1" = 300'
9. Method of collecting positional data:
- ☒ Global Positioning System (GPS) technology.
- ☐ Other method(s). Please describe method of data collection: \_\_\_\_\_
10. ☒ The project site and boundaries are clearly shown and labeled on the Site Geologic Map.
11. ☒ Surface geologic units are shown and labeled on the Site Geologic Map.

12. ☐ Geologic or manmade features were discovered on the project site during the field investigation. They are shown and labeled on the Site Geologic Map and are described in the attached Geologic Assessment Table.
- ☒ Geologic or manmade features were not discovered on the project site during the field investigation.
13. ☐ The Recharge Zone boundary is shown and labeled, if appropriate.
14. All known wells (test holes, water, oil, unplugged, capped and/or abandoned, etc.): If applicable, the information must agree with Item No. 20 of the WPAP Application Section.
- ☐ There are \_\_\_\_\_ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply.)
- ☐ The wells are not in use and have been properly abandoned.
- ☐ The wells are not in use and will be properly abandoned.
- ☐ The wells are in use and comply with 16 TAC Chapter 76.
- ☒ There are no wells or test holes of any kind known to exist on the project site.

### ***Administrative Information***

15. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.





## NARRATIVE DESCRIPTION OF SITE SPECIFIC GEOLOGY FOR THE APPROXIMATELY 7-ACRE JOHNSON RANCH PARCEL, BULVERDE, COMAL COUNTY, TEXAS

### PROJECT DESCRIPTION

This narrative Geologic Assessment accompanies the Texas Commission on Environmental Quality (TCEQ) Geologic Assessment form TCEQ-0585 completed for the approximately 7-acre Johnson Ranch Parcel. The parcel is located on the north side of Farm-to-Market (FM) 1863, approximately 1 mile east of the intersection with State Highway (SH) 281 (Figure 1). Cambrian understands that the planned use for the parcel includes the conveyance and drainage of treated effluent as part of the proposed Johnson Ranch water treatment plant.

### METHODOLOGY

A Cambrian Environmental Registered Professional Geoscientist (License # 10791) and a karst technician conducted a field survey for a Geologic Assessment on 17 September 2015. The pedestrian survey was completed by walking parallel transects spaced approximately 50 feet apart as directed by the TCEQ in the Instructions to Geologists for Geologic Assessments on the Edwards Aquifer Recharge/Transition Zones (Rev. 10-01-04). Closer spacing was used where vegetation inhibited clear observation. All potential karst features, including depressions, holes, and animal burrows, were carefully examined for evidence of sub-surface extent. A number of techniques were used for this effort, including probing with a digging implement to determine the thickness and consistency of fill material and feeling for the presence of air flow, which may indicate the presence of a sub-surface void space. Other techniques included making observations of any notable characteristics of the feature site such as the presence of various types of vegetation or a semi-circular burrow mound produced by the activities of small mammals.

### RESULTS

#### Soils

Soils on the property are mapped within the Gruene (GrC), Krum (KrB), and Sunev (SuA) series soils (Figure 2).<sup>1</sup> The Gruene series soils are within the "D" classification of the hydrologic soil groups. Type "D" soils have a very slow infiltration rate (very high runoff potential) when thoroughly wet. The Krum series soils are within the "C" classification of the hydrologic soil groups. Type "C" soils have a slow infiltration rate (high runoff potential) when thoroughly wet. The Sunev series soils are within the "B" classification of the hydrologic soil groups. Type "B" soils have a moderate infiltration rate (moderate runoff potential) when thoroughly wet.

#### Geology

The parcel is located almost entirely within the Edwards Aquifer Recharge Zone, with only a small corner at the north end of the parcel occurring within the Edwards Aquifer Contributing Zone. The property is generally characterized by gently undulating topography that drains to the south-southeast towards Cibolo Creek. The bedrock lithology underlying the parcel is Cretaceous in age and consists of the Glen Rose Limestone (Kgr). The southern half of the parcel is blanketed by Quaternary age alluvial terrace deposits

---

<sup>1</sup> United States Department of Agriculture, Soil Conservation Service, Soil Survey of Comal and Hays Counties, Texas, 1984.

(Qt). The geology of the property has been mapped most recently at a useful scale by Collins (2000) and we find his interpretation of the geology to be generally accurate (Figure 3).<sup>2</sup>

Recharge into the aquifer primarily occurs in areas where the Edwards Group and Georgetown formation are exposed at the surface. Most recharge is from direct infiltration via precipitation and streamflow loss. Recharge occurs predominantly along secondary porosity features such as faults, fractures, and karst features (caves, solution cavities, sinkholes, etc.). Karst features are commonly formed along joints, fractures, and bedding plane surfaces in the Edwards Group.

#### **Site Hydrogeologic Assessment**

While the property is mapped within the Edwards Aquifer Recharge Zone, the site is underlain by the Glen Rose Limestone which is the lower confining unit for the Edwards Aquifer. Furthermore, in the absence of discrete recharge features, the likelihood of recharge occurring within the project area and contributing to the main body of the aquifer is thought to be very low. However, precipitation events significant enough to initiate runoff will drain towards Cibolo Creek where recharge features may occur in the channel bed (downstream and offsite).

#### **Feature Descriptions**

No geologic or man-made features were discovered during the pedestrian survey.

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<sup>2</sup> Collins, E.W., 2000, Geologic Map of the New Braunfels, Texas, 30 x 60 Quadrangle. Bureau of Economic Geology, The University of Texas at Austin. Austin, Texas 78713-8924.



# Stratigraphic Column for the 7-acre Johnson Ranch Parcel

\*Shaded areas represent lithologies underlying the project area

Upper Cretaceous	Upper Confin- ing Units			Navarro and Taylor Groups, undivided; 600 feet thick	
				Austin Group; 130-150 feet thick	
				Eagle Ford Group; 30-50 feet thick	
				Buda Limestone; 40-50 feet thick	
				Del Rio Clay; 40-50 feet thick	
Lower Cretaceous	I	Edwards Aquifer	Edwards Group	Georgetown Formation	10-40 feet thick
	II			Person Formation; 170-200 feet thick	Cyclic and Marine member, undivided
	III				Leached and Collapsed member, undivided
	IV				Regional Dense member
	V			Kainer Formation; 260-310 feet thick	Grainstone member
	VI				Kirschberg Evaporite member
	VII				Dolomitic member
	VIII				Basal Nodular member
	Lower Confin- ing Units			Upper member of Glen Rose Limestone; 350-500 feet thick	

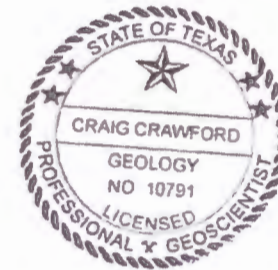


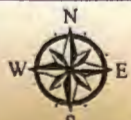




Figure 1. Project Location Map



Cambrian



0 2,000

Feet

0 600

Meters

Map Key

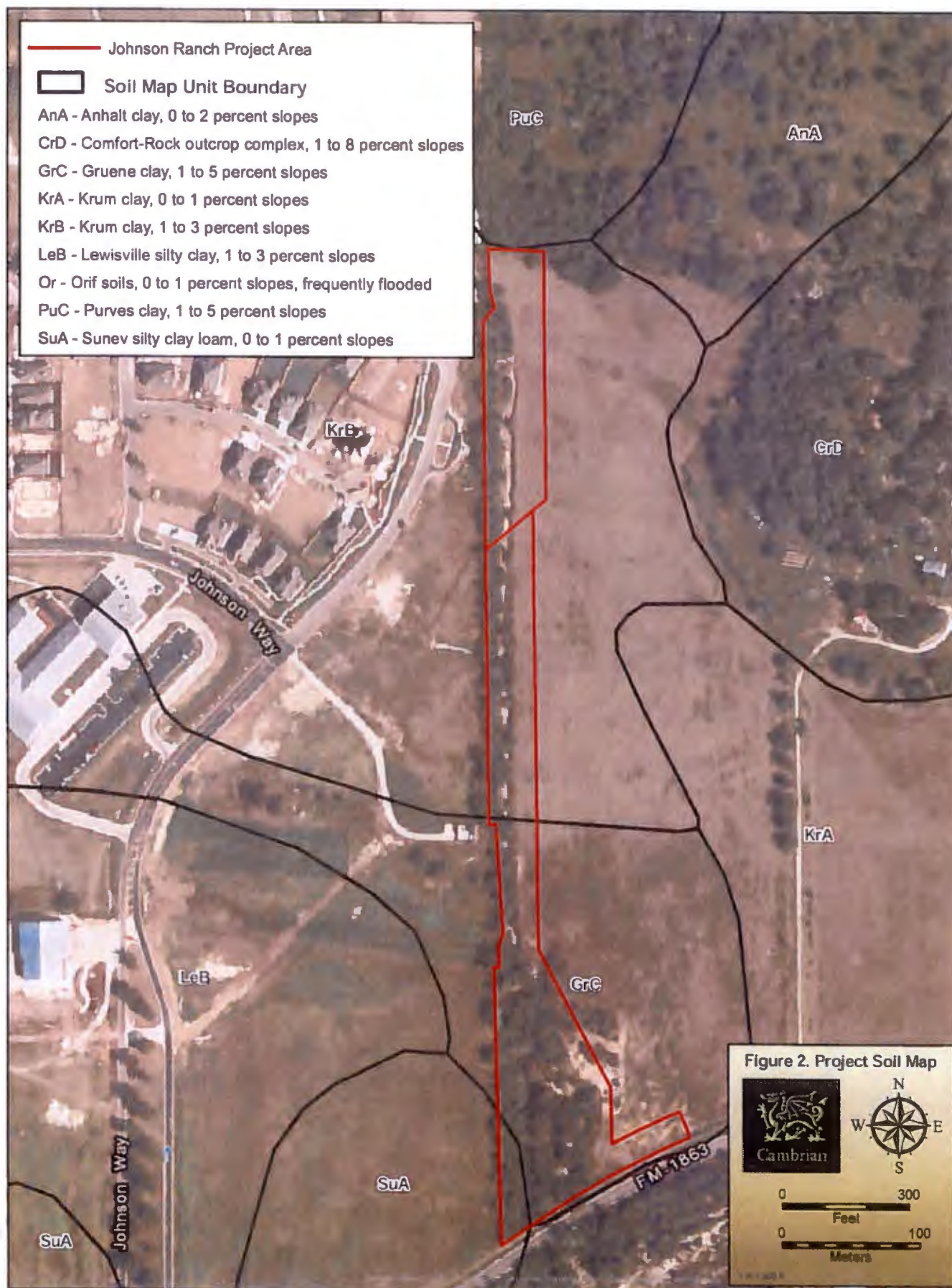
Johnson Ranch Project Area



Comal County, Texas

1 in = 2,000 ft







**WATER POLLUTION ABATEMENT PLAN APPLICATION FORM**  
**(TCEQ-0584)**



RECEIVED  
TCEQ-R13 (EAPP)  
APR 25 2016  
SAN ANTONIO

- Project Area
- Edwards Aquifer Recharge Zone Boundary
- 100-year Floodplain
- Contour Line
- Geologic Unit
- Kgr - Glen Rose Limestone
- Qt - Terrace deposits



Figure 3. Geologic Map

The legend includes a north arrow, a scale bar (0 to 100 feet and 0 to 30 meters), and a scale of 1 in = 100 ft. The map also shows a large brown area on the right side, possibly a reservoir or a different geologic unit, and a road labeled FM-1863.

STATE OF TEXAS  
CRAIG CRAWFORD  
GEOLOGY  
NO. 10791  
LICENSED PROFESSIONAL GEOSCIENTIST  
3 March 2016

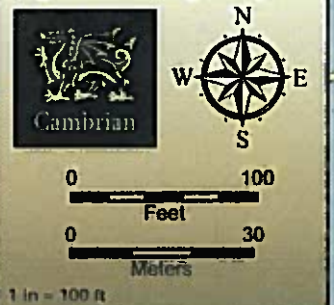


APR 25 2016

SAN ANTONIO



Figure 3. Geologic Map



1 in = 100 ft





~~SAN ANTONIO~~

## PROPOSED WEIR

#### PROPOSED BERM

100-YR FEMA  
FLOODPLAIN

EXISTING CREEK TO  
CIBOLO CREEK

(9.779 ACRES)  
WATER PIPELINE  
EASEMENT

DOC NO. 200506005969

BOUNDARY LINE  
PROPOSED LOT LINE  
EASEMENT LINE  
EXISTING 1 ft CONTOUR  
EXISTING 5 ft CONTOUR  
LIMITS OF CONSTRUCTION  
100 YR FEMA FLOODPLAIN



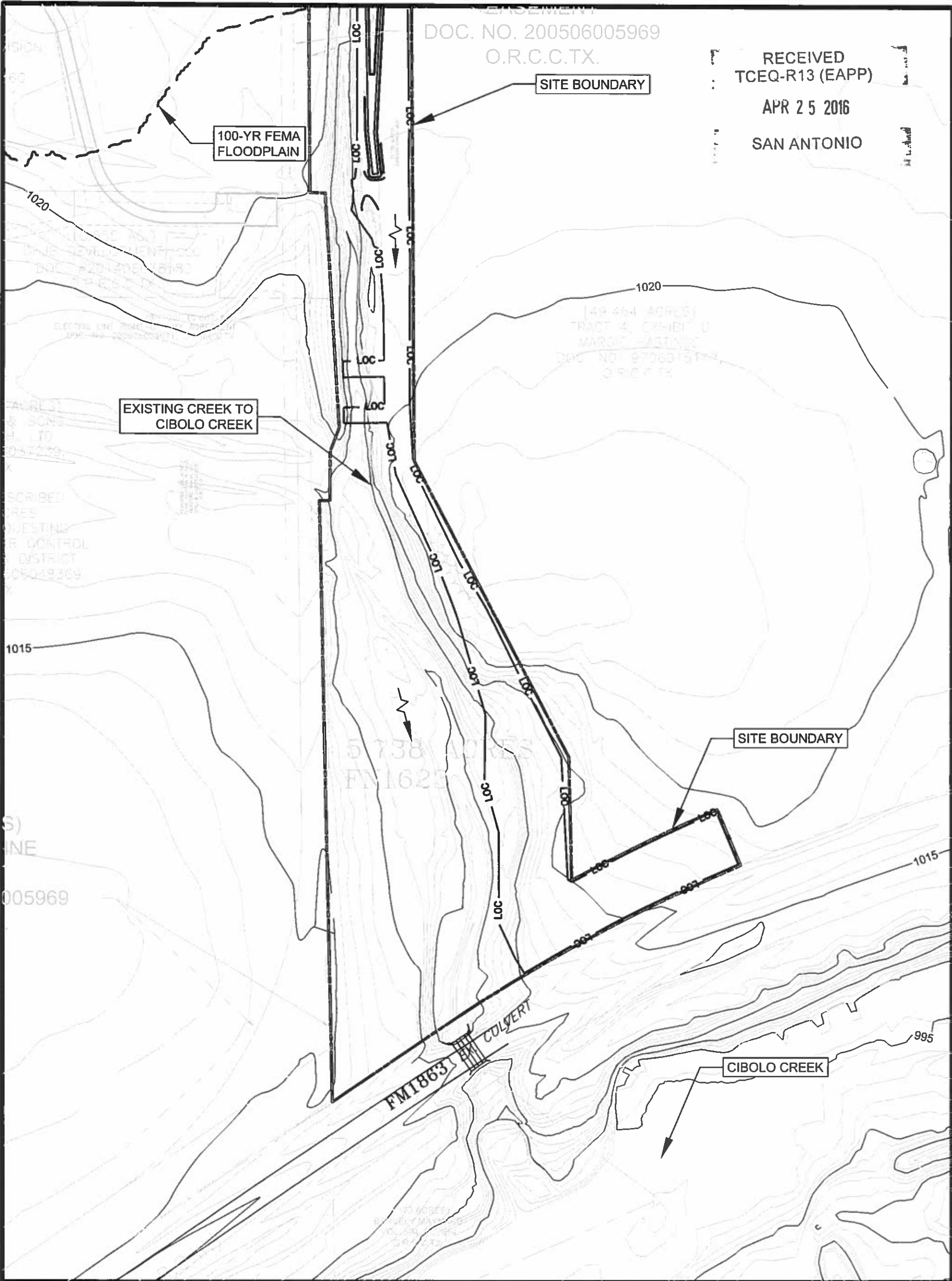
SCALE: 1 INCH = 100 FT

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**LEGEND**

- BOUNDARY LINE
- PROPOSED LOT LINE
- EASEMENT LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- LIMITS OF CONSTRUCTION
- 100 YR FEMA FLOODPLAIN



SCALE: 1 INCH = 100 FT

JOHNSON RANCH STORMWATER  
CHANNEL IMPROVEMENTS  
SITE PLAN 2 OF 2 (APRIL 2016)

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# Water Pollution Abatement Plan Application

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Water Pollution Abatement Plan Application Form** is hereby submitted for TCEQ review and Executive Director approval. The form was prepared by:

Print Name of Customer/Agent: Tracy Bratton, P.E./Bowman Consulting

Date: 4-7-16

Signature of Customer/Agent: 

Regulated Entity Name: Johnson Ranch Municipal Utility District

## Regulated Entity Information

1. The type of project is:

- ☐ Residential: Number of Lots: \_\_\_\_\_
- ☐ Residential: Number of Living Unit Equivalents: \_\_\_\_\_
- ☐ Commercial
- ☐ Industrial
- ☒ Other: Municipal (drainage improvements)

2. Total site acreage (size of property): 3.60 AC

3. Estimated projected population: 0

4. The amount and type of impervious cover expected after construction are shown below:



**Table 1 - Impervious Cover Table**

Impervious Cover of Proposed Project	Sq. Ft.	Sq. Ft./Acre	Acres
Structures/Rooftops	0.00	÷ 43,560 =	---
Parking	0.00	÷ 43,560 =	---
Other paved surfaces	8220.62	÷ 43,560 =	0.189
Total Impervious Cover	8220.62	÷ 43,560 =	0.189

Total Impervious Cover 0.189 ÷ Total Acreage 3.60 X 100 = 5.25 % Impervious Cover

5. ☒ **Attachment A - Factors Affecting Surface Water Quality.** A detailed description of all factors that could affect surface water and groundwater quality that addresses ultimate land use is attached.
6. ☐ Only inert materials as defined by 30 TAC §330.2 will be used as fill material.

***For Road Projects Only***

Complete questions 7 - 12 if this application is exclusively for a road project.

7. Type of project:
- ☐ TXDOT road project.
  - ☐ County road or roads built to county specifications.
  - ☐ City thoroughfare or roads to be dedicated to a municipality.
  - ☐ Street or road providing access to private driveways.
8. Type of pavement or road surface to be used:
- ☐ Concrete
  - ☐ Asphaltic concrete pavement
  - ☐ Other: \_\_\_\_\_
9. Length of Right of Way (R.O.W.): \_\_\_\_\_ feet.  
 Width of R.O.W.: \_\_\_\_\_ feet.  
 L x W = \_\_\_\_\_ Ft<sup>2</sup> ÷ 43,560 Ft<sup>2</sup>/Acre = \_\_\_\_\_ acres.
10. Length of pavement area: \_\_\_\_\_ feet.  
 Width of pavement area: \_\_\_\_\_ feet.  
 L x W = \_\_\_\_\_ Ft<sup>2</sup> ÷ 43,560 Ft<sup>2</sup>/Acre = \_\_\_\_\_ acres.  
 Pavement area \_\_\_\_\_ acres ÷ R.O.W. area \_\_\_\_\_ acres x 100 = \_\_\_\_\_% impervious cover.
11. ☐ A rest stop will be included in this project.  
☐ A rest stop will not be included in this project.

12. ☐ Maintenance and repair of existing roadways that do not require approval from the TCEQ Executive Director. Modifications to existing roadways such as widening roads/adding shoulders totaling more than one-half (1/2) the width of one (1) existing lane require prior approval from the TCEQ.

***Stormwater to be generated by the Proposed Project***

13. ☒ **Attachment B - Volume and Character of Stormwater.** A detailed description of the volume (quantity) and character (quality) of the stormwater runoff which is expected to occur from the proposed project is attached. The estimates of stormwater runoff quality and quantity are based on the area and type of impervious cover. Include the runoff coefficient of the site for both pre-construction and post-construction conditions.

***Wastewater to be generated by the Proposed Project***

14. The character and volume of wastewater is shown below:

<u>0</u> % Domestic	<u>0</u> Gallons/day
<u>0</u> % Industrial	<u>0</u> Gallons/day
<u>0</u> % Commingled	<u>0</u> Gallons/day
TOTAL gallons/day <u>0</u>	

15. Wastewater will be disposed of by: Not Applicable

☐ On-Site Sewage Facility (OSSF/Septic Tank):

- ☐ **Attachment C - Suitability Letter from Authorized Agent.** An on-site sewage facility will be used to treat and dispose of the wastewater from this site. The appropriate licensing authority's (authorized agent) written approval is attached. It states that the land is suitable for the use of private sewage facilities and will meet or exceed the requirements for on-site sewage facilities as specified under 30 TAC Chapter 285 relating to On-site Sewage Facilities.
- ☐ Each lot in this project/development is at least one (1) acre (43,560 square feet) in size. The system will be designed by a licensed professional engineer or registered sanitarian and installed by a licensed installer in compliance with 30 TAC Chapter 285.

☐ Sewage Collection System (Sewer Lines):

- ☐ Private service laterals from the wastewater generating facilities will be connected to an existing SCS.
- ☐ Private service laterals from the wastewater generating facilities will be connected to a proposed SCS.
- ☐ The SCS was previously submitted on \_\_\_\_.
- ☐ The SCS was submitted with this application.
- ☐ The SCS will be submitted at a later date. The owner is aware that the SCS may not be installed prior to Executive Director approval.



☐ The sewage collection system will convey the wastewater to the \_\_\_\_\_ (name) Treatment Plant. The treatment facility is:

- ☐ Existing.  
☐ Proposed.

16. ☐ All private service laterals will be inspected as required in 30 TAC §213.5.

### **Site Plan Requirements**

**Items 17 – 28 must be included on the Site Plan.**

17. ☒ The Site Plan must have a minimum scale of 1" = 400'.

Site Plan Scale: 1" = 100 '.

18. 100-year floodplain boundaries:

- ☒ Some part(s) of the project site is located within the 100-year floodplain. The floodplain is shown and labeled.  
☐ No part of the project site is located within the 100-year floodplain.  
The 100-year floodplain boundaries are based on the following specific (including date of material) sources(s): \_\_\_\_\_

19. ☒ The layout of the development is shown with existing and finished contours at appropriate, but not greater than ten-foot contour intervals. Lots, recreation centers, buildings, roads, open space, etc. are shown on the plan.

- ☒ The layout of the development is shown with existing contours at appropriate, but not greater than ten-foot intervals. Finished topographic contours will not differ from the existing topographic configuration and are not shown. Lots, recreation centers, buildings, roads, open space, etc. are shown on the site plan.

20. All known wells (oil, water, unplugged, capped and/or abandoned, test holes, etc.):

- ☐ There are \_\_\_\_\_ (#) wells present on the project site and the locations are shown and labeled. (Check all of the following that apply)  
☐ The wells are not in use and have been properly abandoned.  
☐ The wells are not in use and will be properly abandoned.  
☐ The wells are in use and comply with 16 TAC §76.

☒ There are no wells or test holes of any kind known to exist on the project site.

21. Geologic or manmade features which are on the site:

- ☐ All sensitive geologic or manmade features identified in the Geologic Assessment are shown and labeled.  
☒ No sensitive geologic or manmade features were identified in the Geologic Assessment.  
☐ **Attachment D - Exception to the Required Geologic Assessment.** A request and justification for an exception to a portion of the Geologic Assessment is attached.

22. ☒ The drainage patterns and approximate slopes anticipated after major grading activities.
23. ☒ Areas of soil disturbance and areas which will not be disturbed.
24. ☒ Locations of major structural and nonstructural controls. These are the temporary and permanent best management practices.
25. ☒ Locations where soil stabilization practices are expected to occur.
26. ☒ Surface waters (including wetlands).  
☐ N/A
27. ☒ Locations where stormwater discharges to surface water or sensitive features are to occur.  
☐ There will be no discharges to surface water or sensitive features.
28. ☒ Legal boundaries of the site are shown.

### ***Administrative Information***

29. ☒ Submit one (1) original and one (1) copy of the application, plus additional copies as needed for each affected incorporated city, groundwater conservation district, and county in which the project will be located. The TCEQ will distribute the additional copies to these jurisdictions. The copies must be submitted to the appropriate regional office.
30. ☒ Any modification of this WPAP will require Executive Director approval, prior to construction, and may require submission of a revised application, with appropriate fees.



**TCEQ-0584 Attachments**

Johnson Ranch Stormwater Channel Improvements  
Water Pollution Abatement Plan Application

Attachment A – Factors Affecting Water Quality

Potential sources of pollution that may be expected to affect the quality of the stormwater discharges from the construction site include the following:

- Soil erosion due to the clearing and grading of site.
- Oil, grease, fuel and hydraulic fluid contamination from construction equipment and vehicle drippings.

## TCEQ-0584 Attachments

### Attachment B – Volume and Character of Stormwater

The purpose of the "*Johnson Ranch Stormwater Channel Improvements*" project is to increase the capacity of the existing creek, also known as Tributary 21, to support additional stormwater runoff that will result from the Johnson Ranch property development. Tributary 21 enters the property on the north, traverses it, then curves to join Tributary 20 and continues along the property line towards Cibolo Creek.

The project begins at the location where the tributary curves and leaves the Johnson Ranch property. The pre-developed 5-year, 25-year, and 100-year design storm peak flows at this location are 712 cfs, 1268 cfs and 1809 cfs, respectively. The post-developed 5-year, 25-year, and 100-year design storm peak at the same location are 853 cfs, 1480 cfs and 2087 cfs, respectively. A drainage analysis was performed using Army Corps of Engineers HEC-HMS program and the following assumptions were made:

- Drainage Areas – the offsite drainage area boundary were determined using USGS quads. Drainage boundaries within the proposed Johnson Ranch Subdivision were determined using a one-foot aerial topographic map.
- Precipitation – the precipitation pattern for each design storm was determined using the 24-hour SCS rainfall depths and Type II rainfall distribution.
- Curve Number – the hydrologic characteristic of the watershed was determined by using SCS curve numbers
- Impervious Cover – The impervious cover is based on the latest subdivision plans.
- Lag Time – the time of concentration ( $T_c$ ) values for the project was estimated using the guidelines found in TR-55. The Lag Time was calculated by multiplying each  $T_c$  time by 0.6.



**TEMPORARY STORMWATER SECTION**  
**(TCEQ-0602)**

# Temporary Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(A), (B), (D)(I) and (G); Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Temporary Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Tracy Bratton, P.E. / Bowman Consulting

Date: 4-8-16

Signature of Customer/Agent:



Regulated Entity Name: Johnson Ranch Municipal Utility District

## Project Information

### Potential Sources of Contamination

*Examples: Fuel storage and use, chemical storage and use, use of asphaltic products, construction vehicles tracking onto public roads, and existing solid waste.*

1. Fuels for construction equipment and hazardous substances which will be used during construction:

☐ The following fuels and/or hazardous substances will be stored on the site: \_\_\_\_\_

These fuels and/or hazardous substances will be stored in:

- ☐ Aboveground storage tanks with a cumulative storage capacity of less than 250 gallons will be stored on the site for less than one (1) year.



- ☐ Aboveground storage tanks with a cumulative storage capacity between 250 gallons and 499 gallons will be stored on the site for less than one (1) year.
- ☐ Aboveground storage tanks with a cumulative storage capacity of 500 gallons or more will be stored on the site. An Aboveground Storage Tank Facility Plan application must be submitted to the appropriate regional office of the TCEQ prior to moving the tanks onto the project.
- ☒ Fuels and hazardous substances will not be stored on the site.
- 2. ☒ **Attachment A - Spill Response Actions.** A site specific description of the measures to be taken to contain any spill of hydrocarbons or hazardous substances is attached.
- 3. ☐ Temporary aboveground storage tank systems of 250 gallons or more cumulative storage capacity must be located a minimum horizontal distance of 150 feet from any domestic, industrial, irrigation, or public water supply well, or other sensitive feature.
- 4. ☒ **Attachment B - Potential Sources of Contamination.** A description of any activities or processes which may be a potential source of contamination affecting surface water quality is attached.

### ***Sequence of Construction***

- 5. ☒ **Attachment C - Sequence of Major Activities.** A description of the sequence of major activities which will disturb soils for major portions of the site (grubbing, excavation, grading, utilities, and infrastructure installation) is attached.
  - ☒ For each activity described, an estimate (in acres) of the total area of the site to be disturbed by each activity is given.
  - ☒ For each activity described, include a description of appropriate temporary control measures and the general timing (or sequence) during the construction process that the measures will be implemented.
- 6. ☒ Name the receiving water(s) at or near the site which will be disturbed or which will receive discharges from disturbed areas of the project: Cibolo Creek

### ***Temporary Best Management Practices (TBMPs)***

*Erosion control examples: tree protection, interceptor swales, level spreaders, outlet stabilization, blankets or matting, mulch, and sod. Sediment control examples: stabilized construction exit, silt fence, filter dikes, rock berms, buffer strips, sediment traps, and sediment basins. Please refer to the Technical Guidance Manual for guidelines and specifications. All structural BMPs must be shown on the site plan.*

- 7. ☒ **Attachment D – Temporary Best Management Practices and Measures.** TBMPs and measures will prevent pollution of surface water, groundwater, and stormwater. The construction-phase BMPs for erosion and sediment controls have been designed to retain sediment on site to the extent practicable. The following information is attached:

- ☒ A description of how BMPs and measures will prevent pollution of surface water, groundwater or stormwater that originates upgradient from the site and flows across the site.
  - ☒ A description of how BMPs and measures will prevent pollution of surface water or groundwater that originates on-site or flows off site, including pollution caused by contaminated stormwater runoff from the site.
  - ☒ A description of how BMPs and measures will prevent pollutants from entering surface streams, sensitive features, or the aquifer.
  - ☒ A description of how, to the maximum extent practicable, BMPs and measures will maintain flow to naturally-occurring sensitive features identified in either the geologic assessment, TCEQ inspections, or during excavation, blasting, or construction.
8. ☒ The temporary sealing of a naturally-occurring sensitive feature which accepts recharge to the Edwards Aquifer as a temporary pollution abatement measure during active construction should be avoided.
- ☐ **Attachment E - Request to Temporarily Seal a Feature.** A request to temporarily seal a feature is attached. The request includes justification as to why no reasonable and practicable alternative exists for each feature.
- ☒ There will be no temporary sealing of naturally-occurring sensitive features on the site.
9. ☒ **Attachment F - Structural Practices.** A description of the structural practices that will be used to divert flows away from exposed soils, to store flows, or to otherwise limit runoff discharge of pollutants from exposed areas of the site is attached. Placement of structural practices in floodplains has been avoided.
10. ☒ **Attachment G - Drainage Area Map.** A drainage area map supporting the following requirements is attached:
- ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin will be provided.
  - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a smaller sediment basin and/or sediment trap(s) will be used.
  - ☐ For areas that will have more than 10 acres within a common drainage area disturbed at one time, a sediment basin or other equivalent controls are not attainable, but other TBMPs and measures will be used in combination to protect down slope and side slope boundaries of the construction area.
  - ☒ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. A smaller sediment basin and/or sediment trap(s) will be used in combination with other erosion and sediment controls within each disturbed drainage area.



- ☐ There are no areas greater than 10 acres within a common drainage area that will be disturbed at one time. Erosion and sediment controls other than sediment basins or sediment traps within each disturbed drainage area will be used.
11. ☐ **Attachment H - Temporary Sediment Pond(s) Plans and Calculations.** Temporary sediment pond or basin construction plans and design calculations for a proposed temporary BMP or measure have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer. All construction plans and design information must be signed, sealed, and dated by the Texas Licensed Professional Engineer. Construction plans for the proposed temporary BMPs and measures are attached.
- ☒ N/A
12. ☒ **Attachment I - Inspection and Maintenance for BMPs.** A plan for the inspection of each temporary BMP(s) and measure(s) and for their timely maintenance, repairs, and, if necessary, retrofit is attached. A description of the documentation procedures, recordkeeping practices, and inspection frequency are included in the plan and are specific to the site and/or BMP.
13. ☒ All control measures must be properly selected, installed, and maintained in accordance with the manufacturer's specifications and good engineering practices. If periodic inspections by the applicant or the executive director, or other information indicate a control has been used inappropriately, or incorrectly, the applicant must replace or modify the control for site situations.
14. ☒ If sediment escapes the construction site, off-site accumulations of sediment must be removed at a frequency sufficient to minimize offsite impacts to water quality (e.g., fugitive sediment in street being washed into surface streams or sensitive features by the next rain).
15. ☒ Sediment must be removed from sediment traps or sedimentation ponds not later than when design capacity has been reduced by 50%. A permanent stake will be provided that can indicate when the sediment occupies 50% of the basin volume.
16. ☒ Litter, construction debris, and construction chemicals exposed to stormwater shall be prevented from becoming a pollutant source for stormwater discharges (e.g., screening outfalls, picked up daily).

### **Soil Stabilization Practices**

*Examples: establishment of temporary vegetation, establishment of permanent vegetation, mulching, geotextiles, sod stabilization, vegetative buffer strips, protection of trees, or preservation of mature vegetation.*

17. ☒ **Attachment J - Schedule of Interim and Permanent Soil Stabilization Practices.** A schedule of the interim and permanent soil stabilization practices for the site is attached.

18. ☒ Records must be kept at the site of the dates when major grading activities occur, the dates when construction activities temporarily or permanently cease on a portion of the site, and the dates when stabilization measures are initiated.
19. ☒ Stabilization practices must be initiated as soon as practicable where construction activities have temporarily or permanently ceased.

### ***Administrative Information***

20. ☒ All structural controls will be inspected and maintained according to the submitted and approved operation and maintenance plan for the project.
21. ☒ If any geologic or manmade features, such as caves, faults, sinkholes, etc., are discovered, all regulated activities near the feature will be immediately suspended. The appropriate TCEQ Regional Office shall be immediately notified. Regulated activities must cease and not continue until the TCEQ has reviewed and approved the methods proposed to protect the aquifer from any adverse impacts.
22. ☒ Silt fences, diversion berms, and other temporary erosion and sediment controls will be constructed and maintained as appropriate to prevent pollutants from entering sensitive features discovered during construction.



## Attachment A – Spill Response Actions

The objective of this section is to describe measures to prevent or reduce the discharge of pollutants to drainage systems or watercourses. Measures include reducing the chance for spills, stopping the source of spills, containing and cleaning up spills, properly disposing of spill materials, and training employees.

The following steps will help reduce the stormwater impacts of leaks and spills:

### **Education**

(1) Be aware that different materials pollute in different amounts. Make sure that each employee knows what a "significant spill" is for each material they use, and what is the appropriate response for "significant" and "insignificant" spills. Employees should also be aware of when spill must be reported to the TCEQ. Information is available in 30 TAC 327.4 and 40 CFR 302.4.

(2) Educate employees and subcontractors on potential dangers to humans and the environment from spills and leaks.

(3) Hold regular meetings to discuss and reinforce appropriate disposal procedures (incorporate into regular safety meetings).

(4) Establish a continuing education program to indoctrinate new employees.

(5) Have a contractor's superintendent or representative oversee and enforce proper spill prevention and control measures.

### **General Measures**

(1) To the extent that the work can be accomplished safely, spills of oil, petroleum, products, substances listed under 40 CFR parts 110, 117, and 302, and sanitary and septic wastes should be contained and cleaned up immediately.

(2) Store hazardous materials and wastes in covered containers and protect from vandalism.

(3) Place a stockpile of spill cleanup materials where it will be readily accessible.

(4) Train employees in spill prevention and cleanup.

(5) Designate responsible individuals to oversee and enforce control measures.

(6) Spills should be covered and protected from stormwater runoff during rainfall to the extent that is doesn't compromise cleanup activities.

(7) Do not bury or wash spills with water.

(8) Store and dispose of used clean up materials, contaminated materials, and recovered spill material that is no longer suitable for the intended purpose in conformance with the provisions in applicable BMP's.

(9) Do not allow water used for cleaning and decontamination to enter storm drains or watercourses. Collect and dispose of contaminated water in accordance with applicable regulations.

(10) Contain water overflow or minor water spillage and do not allow it to discharge into drainage facilities or watercourses.

(11) Place Material Safety Data Sheets (MSDS), as well as proper storage, cleanup, and spill reporting instructions for hazardous materials stored or used on the project site in an open, conspicuous, and accessible location.

(12) Keep waste storage areas clean, well-organized, and equipped with ample cleanup supplies as appropriate for the materials being stored. Perimeter controls, containment structures, covers, and liners should be repaired or replaced as needed to maintain proper function.

#### ***Cleanup***

(1) Clean up leaks and spills immediately.

(2) Use a rag for small spills on paved surfaces, a damp mop for general cleanup, and absorbent material for larger spills. If the spilled material is hazardous, then the used cleanup materials are also hazardous and must be disposed of as hazardous waste.

(3) Never hose down or bury dry material spills. Clean up as much of the material as possible and dispose of properly. See the waste management BMPs in this section for specific information.

#### ***Minor Spills***

(1) Minor spills typically involve small quantities of oil, gasoline, paint, etc. which can be controlled by the first responder at the discovery of the spill.

(2) Use absorbent materials on small spills rather than hosing down or burying the spill.

(3) Absorbent materials should be promptly removed and disposed of properly.

(4) Follow the practice below for a minor spill:

(5) Contain the spread of the spill

(6) Recover spilled materials

(7) Clean the contaminated area and properly dispose of contaminated materials.

#### ***Semi-Significant Spills***

Semi-significant spills still can be controlled by the first responder along with the aid of other personnel such as laborers and the foreman, etc. This response may require the cessation of all other activities.

Spills should be cleaned up immediately using the following steps:

(1) Contain spread of the spill

(2) Notify the project foreman immediately



(3) If the spill occurs on paved or impermeable surfaces, clean up using "dry" methods (absorbent materials, cat litter and/or rags). Contain the spill by encircling with absorbent materials and do not let the spill spread widely.

(4) If the spill occurs in dirt areas, immediately contain the spill by constructing an earthen dike. Dig up and properly dispose of contaminated soil.

(5) If the spill occurs during rain, cover spill with tarps or other material to prevent contaminating runoff.

#### ***Significant/Hazardous Spills***

(1) Notify the TCEQ by telephone as soon as possible and within 24 hours at 512-339-2929 (Austin) or 210-490-3096 (San Antonio) between 8 AM and 5 PM. After hours, contact the Environmental Release Hotline at 1-800-832-8224. It is the contractor's responsibility to have all emergency phone numbers at the construction site.

(2) For spills of federal reportable quantities, in conformance with the requirements in 40 CFR parts 110, 119, and 302, the contractor should notify the National Response Center at (800) 424-8802.

(3) Notification should first be made by telephone and followed up with a written report.

(4) The services of a spills contractor or a Haz-Mat team should be obtained immediately. Construction personnel should not attempt to clean up until the appropriate and qualified staffs have arrived at the job site.

(5) Other agencies which may need to be consulted include, but are not limited to, the City Police Department, County Sheriff Office, Fire Departments, etc. More information on spill rules and appropriate responses is available on the TCEQ website at :

<http://www.tceq.texas.gov/response/>

#### ***Vehicle and Equipment Maintenance***

(1) If maintenance must occur onsite, use a designated area and a secondary containment, located away from drainage courses, to prevent the runoff of stormwater and the runoff of spills.

(2) Regularly inspect onsite vehicles and equipment for leaks and repair immediately.

(3) Check incoming vehicles and equipment (including delivery trucks, and employee and subcontractor vehicles) for leaking oil and fluids. Do not allow leaking vehicles or equipment onsite.

(4) Always use secondary containment, such as drain pan or drop cloth, to catch spills or leaks when removing or changing fluids.

(5) Place drip pans or absorbent materials under paving equipment when not in use.

(6) Use absorbent materials on small spills rather than hosing down or burying the spill. Remove the absorbent materials promptly and dispose of properly.

(7) Promptly transfer used fluids to the proper waste or recycling drums. Don't leave full drip pans or other open containers lying around.

(8) Oil filters disposed of in trashcans or dumpsters can leak oil and pollute stormwater. Place the oil filter in a funnel over the waste oil-recycling drum to drain excess oil before disposal. Oil filters can also be recycled. Ask the oil supplier or recycler about recycling oil filters.

(9) Store cracked batteries in a non-leaking secondary container. Do this with all cracked batteries even if you think all of the acid has drained out. If you drop a battery, treat it as if it is cracked. Put it into the containment area until you are sure it is not leaking.

***Vehicle and Equipment Fueling***

(1) If fueling must occur on site, use designated areas, located away from drainage courses, to prevent the runoff of stormwater and the runoff of spills.

(2) Discourage "topping off" of fuel tanks.

(3) Always use secondary containment, such as a drain pan, when fueling to catch spills/ leaks.



## Attachment B – Potential Sources of Contamination

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Potential Source:	Oil, grease, fuel, and hydraulic fluid contamination from construction equipment and vehicle drippings
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Preventative Measure:	Vehicle maintenance, when possible, will be performed within the construction staging areas.
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Potential Source:	Miscellaneous trash and litter from construction
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Preventative Measure:	Trash containers will be placed throughout the site to encourage proper trash disposal.
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Potential Source:	Construction debris
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Preventative Measure:	All loose materials, trash, debris, etc. shall be removed from the site at the end of each work day.
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## Attachment C – Sequence of Major Activities

The sequence of major activities will be divided into two stages. All stages to include silt fence around the perimeter of the limits of construction with j-hooks, stabilized construction entrance, rock check dams, and tree protection.

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### Site Preparation:

1. Install temporary erosion controls, tree protection fencing, and barricades prior to any site clearing and grubbing. Notify the project engineer when installed.
  2. Hold preconstruction conference.
  3. Modify temporary E&S controls as needed
  4. Excavate existing dam embankment to the property line.
  5. Begin grading of proposed berm (0.619 AC).
- 

### Construction:

6. Construct concrete weir (0.189 AC).
  7. Complete berm and access grading.
  8. Complete permanent erosion control and restoration of site vegetation.
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### Clean up:

9. Remove and dispose of temporary erosion controls.
10. Complete any necessary final clean up.



## Attachment D – Temporary Best Management Practices and Measures

Upgradient water will be intercepted through the channel and directed to a tributary of Cibolo Creek. Silt fences and rock berms will be placed along the channel. Diversion dikes will be used to redirect the upgradient flows from north of the disturbed areas to the tributary of Cibolo Creek.

Temporary measures are intended to provide a method of slowing the flow or runoff from the construction site in order to allow sediment and suspended solids to settle out of the water. By containing the sediment and solids within the site, they will not enter surface streams and/or sensitive features.

BMP measures utilized in this plan are intended to allow storm water to continue downstream after passing through for treatment. This will allow stormwater runoff to continue downstream to any existing sensitive features.

### Site Preparation:

The clearing and grading of the land will disturb the largest area of soil, so erosion control measures will be installed as the first step in construction. The methodology for pollution prevention of all on-site stormwater will include a) the erection of silt fences along the downgradient boundary of the construction activities, b) installation of rock berms with silt fence covering downgradient from areas of concentrated stormwater flow, c) installation of stabilized construction entrances to reduce the dispersion of sediment from the site, and d) installation of a construction staging area.

### Construction:

All installed erosion control measures will be inspected, and if necessary, repaired before any additional construction begins, as well as periodically throughout the construction process. The contractor will be responsible for all maintenance of erosion control measures, as well as the installation of all remaining

## Attachment F – Structural Practices

The following structural measures will be installed prior to the initiation of site construction:

- Silt fences along the downstream boundary of all construction activity, and rock berms with silt fence covering for secondary protection
- Installation of stabilized construction entrances and construction staging areas



Attachment G – Drainage Map

SEE CONSTRUCTION PLANS

## Attachment I – Inspection and Maintenance for BMPs

### INSPECTIONS

Designated and qualified person(s) must conduct inspections of the sediment and erosion control measures at least once every 14 calendar days and within 24 hours of the end of a storm event of 0.5 inches or greater to ensure that they are operating correctly. A copy of the Inspection Report Form is provided in the SWP3.

As a minimum, the inspector shall observe: (1) significant disturbed areas for evidence of erosion, (2) storage areas for evidence of leakage from the exposed stored materials, (3) structural controls (rock berm outlets, silt fences, drainage swales, etc.) for evidence of failure or excess siltation (over 6 inches deep), (4) vehicle exit point for evidence of off-site sediment tracking, and (5) vehicle storage areas for signs of leaking equipment or spills. The SWP3 must be modified based on the results of inspections, as necessary, to better control pollutants in runoff. Revisions to the SWP3 must be completed within seven (7) calendar days following the inspection. If existing BMPs are modified or if additional BMPs are necessary, an implementation schedule must be described in the Stormwater Pollution Prevention Plan (SWP3) and wherever possible those changes implemented before the next storm event. If implementation before the next anticipated storm event is impracticable, these changes must be implemented as soon as practicable.

A report summarizing the scope of the inspection, the date(s) of the inspection, and major observations relating to the implementation of the SWP3 must be made and retained as part of the SWP3. Major observations should include: The locations of discharges of sediment or other pollutants from the site; locations of BMPs that need to be maintained; locations of BMPs that failed to operate as designed or proved inadequate for a particular location; and locations where additional BMPs are needed. These records must be maintained as part of the SWP3 for a period of at least three years.

Actions taken as a result of inspections must be described within, and retained as a part of, the SWP3. Reports must identify any incidents of non-compliance. Where a report does not identify any incidents of non-compliance, the report must contain a certification that the facility or site is in compliance with the SWP3 and this permit. The report must be signed by the person and in the manner required by 30 TAC §305.128 (relating to Signatories to Reports).



## MAINTENANCE

All protective measures identified in the SWP3 must be maintained in effective operating condition. If, through inspections or other means, the permittee determines that BMPs are not operating effectively, then the permittee shall perform maintenance as necessary to maintain the continued effectiveness of stormwater controls, and prior to the next rain event if feasible. If maintenance prior to the next anticipated storm event is impracticable, the reason shall be documented in the SWP3 and maintenance must be scheduled and accomplished as soon as practicable. Erosion and sediment controls that have been intentionally disabled, run-over, removed, or otherwise rendered ineffective must be replaced or corrected immediately upon discovery.

If periodic inspections or other information indicates a control has been used incorrectly, is performing inadequately, or is damaged, then the operator shall replace or modify the control as soon as practicable after making the discovery.

Sediment must be removed from sediment traps and sedimentation ponds no later than the time that design capacity has been reduced by 50%. For perimeter controls such as silt fences, berms, etc., the trapped sediment must be removed before it reaches 50% of the above-ground height.

If sediment escapes the site, accumulations must be removed at a frequency that minimizes off-site impacts, and prior to the next rain event, if feasible. If the permittee does not own or operate the off-site conveyance, then the permittee shall work with the owner or operator of the property to remove the sediment.

## Attachment J – Schedule of Interim and Permanent Soil Stabilization Practices

Interim on-site stabilization measures, which are continuous, will include minimizing soil disturbances and maximizing the area of natural vegetation that is not disturbed. As soon as possible, topsoil, biodegradable coir fabric, seeding and compost will be used to stabilize all areas of disturbance.

Stabilization measures will be initiated as soon as possible on portions of the site where construction activities have temporarily or permanently ceased. When construction activity has ceased in an area, but soil disturbing activities will be resumed within 21 days, temporary stabilization measures are not required to be installed. Otherwise, stabilization measures should occur within 14 days of temporary or permanent cessation for any site.



## SWPPP Inspection Report

Project Name: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Inspection Frequency: (Every 7 Days, 14 Days, or Post Rain) \_\_\_\_\_

Post Significant Rainfall: N/A / Rainfall Amount: \_\_\_\_\_

Is inspector qualified to perform inspections? Yes

Are inspector qualifications present in SWPPP? Yes

Was the entire site inspected? \_\_\_\_\_

If no, please list conditions limiting the scope of the inspection: \_\_\_\_\_

General Notes:

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Please note if the following areas or controls were observed in compliance during the inspection.

Do the following items comply with SWPPP regulation?	Yes/No or Note Corrective Action Taken
Copy of the NOI with the SWPPP?	
Construction Site Notice posted at entrance(s) to site?	
Copy of the NOI at the site entrance?	
Do storage areas show signs of erosion?	
Do disturbed areas show signs of erosion?	
Are there signs of erosion at outfalls?	
BMPs working properly? (If no, make list of issue locations in area of concern/corrective action section below)	
Do BMPs need maintenance? (If yes, make a detailed list of issue locations in area of concern/corrective action section below.)	
Are new BMPs required on-site?	
Did the site map/BMP map get updated?	

## SWPPP Inspection Report

Control	Compliant (Yes - No - N/A)
<b>General</b>	
Revegetation	
Silt Fence	
Rock Berm	
Sediment Traps	
Tree Protection	
Site Stabilization	
Detention and/or Water Quality Pond	
Stabilized Construction Entrance	
Concrete Washout	
Spoils/Materials Site	
Drainage Channells	
Outfall/Outlet Protections	
Inlet Protections	
No Off-site Discharge	
Equipment Area	
Trash receptacles	
Construction Debris	
<b>Infrastructure</b>	
Roadway clearing	
Utility clearing	
Roadway grading	
Utility construction	
Drainage construction	
Roadway base	
Roadway surfaces	
Site cleanups	

Inspector Qualifications: \_\_\_\_\_

By my signature below, I certify that all terms are acceptable and the project site is in compliance with SWPPP.

\_\_\_\_\_  
Inspector's Name

\_\_\_\_\_  
Inspector's Signature

\_\_\_\_\_  
Name of Owner/Operator (Firm)

\_\_\_\_\_  
Date

## SWPPP Inspection Report

### Project Milestone Dates

Date when major site grading activities begin:

Construction Activity

Date

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Dates when construction activities temporarily or permanently cease on all or a portion of the project:

Construction Activity

Date

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Dates when stabilization measures are initiated:

Stabilization Activity

Date

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**PERMANENT STORMWATER SECTION**  
**(TCEQ-0600)**

# Permanent Stormwater Section

Texas Commission on Environmental Quality

for Regulated Activities on the Edwards Aquifer Recharge Zone and Relating to 30 TAC §213.5(b)(4)(C), (D)(ii), (E), and (5), Effective June 1, 1999

*To ensure that the application is administratively complete, confirm that all fields in the form are complete, verify that all requested information is provided, consistently reference the same site and contact person in all forms in the application, and ensure forms are signed by the appropriate party.*

*Note: Including all the information requested in the form and attachments contributes to more streamlined technical reviews.*

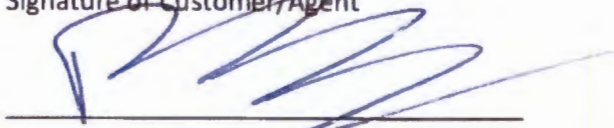
## Signature

To the best of my knowledge, the responses to this form accurately reflect all information requested concerning the proposed regulated activities and methods to protect the Edwards Aquifer. This **Permanent Stormwater Section** is hereby submitted for TCEQ review and executive director approval. The application was prepared by:

Print Name of Customer/Agent: Tracy Bratton, P.E.

Date: 4-19-16

Signature of Customer/Agent



Regulated Entity Name: Johnson Ranch Municipal Utility District

## Permanent Best Management Practices (BMPs)

*Permanent best management practices and measures that will be used during and after construction is completed.*

1. ☐ Permanent BMPs and measures must be implemented to control the discharge of pollution from regulated activities after the completion of construction.  
☒ N/A
2. ☐ These practices and measures have been designed, and will be constructed, operated, and maintained to insure that 80% of the incremental increase in the annual mass loading of total suspended solids (TSS) from the site caused by the regulated activity is removed. These quantities have been calculated in accordance with technical guidance prepared or accepted by the executive director.  
☐ The TCEQ Technical Guidance Manual (TGM) was used to design permanent BMPs and measures for this site.



☐ A technical guidance other than the TCEQ TGM was used to design permanent BMPs and measures for this site. The complete citation for the technical guidance that was used is: \_\_\_\_\_

☒ N/A

3. ☐ Owners must insure that permanent BMPs and measures are constructed and function as designed. A Texas Licensed Professional Engineer must certify in writing that the permanent BMPs or measures were constructed as designed. The certification letter must be submitted to the appropriate regional office within 30 days of site completion.

☒ N/A

4. Where a site is used for low density single-family residential development and has 20 % or less impervious cover, other permanent BMPs are not required. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

☐ The site will be used for low density single-family residential development and has 20% or less impervious cover.

☐ The site will be used for low density single-family residential development but has more than 20% impervious cover.

☒ The site will not be used for low density single-family residential development.

5. The executive director may waive the requirement for other permanent BMPs for multi-family residential developments, schools, or small business sites where 20% or less impervious cover is used at the site. This exemption from permanent BMPs must be recorded in the county deed records, with a notice that if the percent impervious cover increases above 20% or land use changes, the exemption for the whole site as described in the property boundaries required by 30 TAC §213.4(g) (relating to Application Processing and Approval), may no longer apply and the property owner must notify the appropriate regional office of these changes.

☐ **Attachment A - 20% or Less Impervious Cover Waiver.** The site will be used for multi-family residential developments, schools, or small business sites and has 20% or less impervious cover. A request to waive the requirements for other permanent BMPs and measures is attached.

☐ The site will be used for multi-family residential developments, schools, or small business sites but has more than 20% impervious cover.

☒ The site will not be used for multi-family residential developments, schools, or small business sites.

6. ☒ **Attachment B - BMPs for Upgradient Stormwater.**



- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site is attached.
- ☐ No surface water, groundwater or stormwater originates upgradient from the site and flows across the site, and an explanation is attached.
- ☒ Permanent BMPs or measures are not required to prevent pollution of surface water, groundwater, or stormwater that originates upgradient from the site and flows across the site, and an explanation is attached.
7. ☒ **Attachment C - BMPs for On-site Stormwater.**
- ☐ A description of the BMPs and measures that will be used to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff from the site is attached.
- ☒ Permanent BMPs or measures are not required to prevent pollution of surface water or groundwater that originates on-site or flows off the site, including pollution caused by contaminated stormwater runoff, and an explanation is attached.
8. ☐ **Attachment D - BMPs for Surface Streams.** A description of the BMPs and measures that prevent pollutants from entering surface streams, sensitive features, or the aquifer is attached. Each feature identified in the Geologic Assessment as sensitive has been addressed.
- ☒ N/A
9. ☒ **Attachment E - Request to Seal Features.** A request to seal a naturally-occurring sensitive feature, that includes, for each feature, a justification as to why no reasonable and practicable alternative exists, is attached.
- ☐ The permanent sealing of or diversion of flow from a naturally-occurring sensitive feature that accepts recharge to the Edwards Aquifer as a permanent pollution abatement measure has not been proposed.
10. ☒ **Attachment F - Construction Plans.** All construction plans and design calculations for the proposed permanent BMP(s) and measures have been prepared by or under the direct supervision of a Texas Licensed Professional Engineer, and are signed, sealed, and dated. The plans are attached and, if applicable include:
- ☒ Design calculations (TSS removal calculations)
- ☒ TCEQ construction notes
- ☒ All geologic features
- ☒ All proposed structural BMP(s) plans and specifications
- ☐ N/A

11. ☐ **Attachment G - Inspection, Maintenance, Repair and Retrofit Plan.** A plan for the inspection, maintenance, repairs, and, if necessary, retrofit of the permanent BMPs and measures is attached. The plan includes all of the following:
- ☐ Prepared and certified by the engineer designing the permanent BMPs and measures
  - ☐ Signed by the owner or responsible party
  - ☐ Procedures for documenting inspections, maintenance, repairs, and, if necessary retrofit
  - ☐ A discussion of record keeping procedures
- ☒ N/A
12. ☐ **Attachment H - Pilot-Scale Field Testing Plan.** Pilot studies for BMPs that are not recognized by the Executive Director require prior approval from the TCEQ. A plan for pilot-scale field testing is attached.
- ☒ N/A
13. ☒ **Attachment I - Measures for Minimizing Surface Stream Contamination.** A description of the measures that will be used to avoid or minimize surface stream contamination and changes in the way in which water enters a stream as a result of the construction and development is attached. The measures address increased stream flashing, the creation of stronger flows and in-stream velocities, and other in-stream effects caused by the regulated activity, which increase erosion that results in water quality degradation.
- ☐ N/A

### ***Responsibility for Maintenance of Permanent BMP(s)***

***Responsibility for maintenance of best management practices and measures after construction is complete.***

14. ☐ The applicant is responsible for maintaining the permanent BMPs after construction until such time as the maintenance obligation is either assumed in writing by another entity having ownership or control of the property (such as without limitation, an owner's association, a new property owner or lessee, a district, or municipality) or the ownership of the property is transferred to the entity. Such entity shall then be responsible for maintenance until another entity assumes such obligations in writing or ownership is transferred.
- ☒ N/A
15. ☐ A copy of the transfer of responsibility must be filed with the executive director at the appropriate regional office within 30 days of the transfer if the site is for use as a multiple single-family residential development, a multi-family residential development, or a non-residential development such as commercial, industrial, institutional, schools, and other sites where regulated activities occur.
- ☒ N/A

## Attachment B – BMPs for Upgradient Stormwater

The purpose of the "*Johnson Ranch Stormwater Channel Improvements*" project is to increase the capacity of the existing creek, aka Tributary 21, to support additional stormwater runoff that will result from the Johnson Ranch property development. Tributary 21 enters the property on the west side, traverses it, then curves sharply south and continues along the eastern boundary line towards Cibolo Creek. The project begins at the location where the tributary curves and leaves the Johnson Ranch property.

All upgradient storm water entering the site is contained in the channel and does not contact this project's impervious cover. This project consists mostly of grading activities and the only impervious cover that is added to the site is a concrete weir and stone rip-rap. The weir and riprap are erosion control measures that will help improve storm water quality leaving the site at higher frequency storms.



### Attachment C – BMPs for On-Site Stormwater

The area included in the WPAP application includes the channel (approx. 3.60 AC). This site is used for low density, single-family residential development and has an impervious cover of 20% or less. Therefore, BMPs for on-site stormwater are not required, as specified in TAC Chapter 213.5.

## Attachment F – Construction Plans

Please see the Construction Plans on pocket folders at the end of the application.

## Attachment I – Measures for Minimizing Surface Stream Contamination

All flows on site and from off-site are conveyed to tributaries of Cibolo Creek, or Cibolo Creek itself.

The following strategies are used to minimize surface stream contamination:

- There is less than 20% impervious cover (approx. 5.25%) at the site full development
- Natural drainage patterns will be preserved to the extent possible
- Temporary BMPs are provided to protect surface streams during construction
- Permanent revegetation will be provided to provide permanent protection for surface streams



**AGENT AUTHORIZATION FORM**

**(TCEQ-0599)**



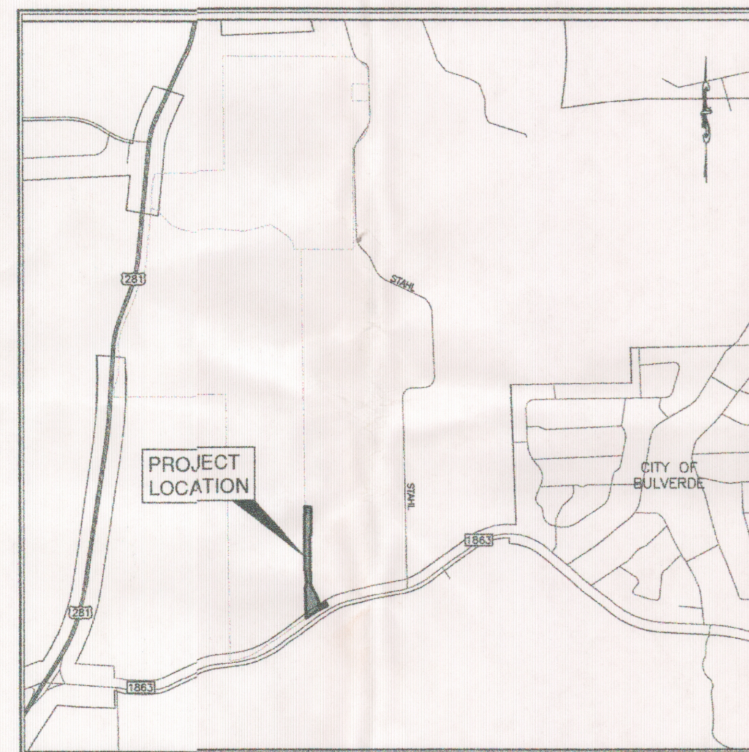
# CONSTRUCTION PLANS FOR JOHNSON RANCH STORMWATER PROJECT CHANNEL IMPROVEMENTS

**FLOODPLAIN:** A PORTION OF THIS PROJECT FALLS WITHIN THE 100 YEAR FLOODPLAIN AS DEFINED BY THE FEDERAL FLOOD INSURANCE ADMINISTRATION FIRM PANELS 48091C0220F AND 48091C0385F, MAP REVISED SEPTEMBER 2, 2009.

**AQUIFER NOTE:** THIS PROJECT IS IN THE EDWARD'S AQUIFER RECHARGE ZONE.

**BENCHMARKS:**  
TBM-378:  
"BOX" CUT ON CONCRETE HEADWALL ON WEST RIGHT-OF-WAY LINE OF JOHNSON WAY AT SOUTHEAST CORNER OF EMS SITE.  
ELEVATION=1021.46'  
(SURFACE COORDINATES: N=13822468, E=2152877)

TBM-1292:  
COTTON GIN SPINDLE SET IN 44" LIVE OAK TREE WITH TAG #6072 ALONG SOUTH RIGHT-OF-WAY LINE OF F.M. HWY NO.1863 AT JOHNSON WAY INTERSECTION.  
ELEVATION=1015.07



**SITE LOCATION**  
SCALE: 1" = 2000'

Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	EXISTING CONDITIONS - OVERALL
4	EXISTING CONDITIONS - SHEET 1 OF 3
5	EXISTING CONDITIONS - SHEET 2 OF 3
6	EXISTING CONDITIONS - SHEET 3 OF 3
7	EROSION & SEDIMENTATION CONTROL - SHEET 1 OF 3
8	EROSION & SEDIMENTATION CONTROL - SHEET 2 OF 3
9	EROSION & SEDIMENTATION CONTROL - SHEET 3 OF 3
10	EROSION & SEDIMENTATION CONTROL NOTES & DETAILS
11	GRADING - OVERALL
12	GRADING - SHEET 1 OF 3
13	GRADING - SHEET 2 OF 3
14	GRADING - SHEET 3 OF 3
15	SPOT ELEVATION NORTHING AND EASTING TABLE
16	CROSS-SECTIONS
17	CONSTRUCTION DETAILS

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**OWNER:**  
JOHNSON RANCH MUD  
C/O PHILIP S. HAAG  
600 CONGRESS AVENUE  
SUITE 2100  
AUSTIN, TEXAS 78701  
[TEL] 512.495.6005  
[FAX] 512.505.6308

**ENGINEER:**  
BOWMAN CONSULTING GROUP, LTD  
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Austin, Texas 78746  
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[Fax] 512.327.4062

SUBMITTED FOR APPROVAL BY:

Tracy A. Bratton, P.E. #90095

4-20-2016

DATE



PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: N/A V: N/A
JOB No.	005522-04-003
DATE	April 20, 2016
FILE No.	5522-04-0003-COV

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SHEET 1 OF 17

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TBPE Firm Registration No. F-14309



TEXAS COMMISSION ON ENVIRONMENTAL QUALITY  
WATER POLLUTION ABATEMENT PLAN  
GENERAL CONSTRUCTION NOTES

1. A WRITTEN NOTICE OF CONSTRUCTION MUST BE SUBMITTED TO THE TCEQ REGIONAL OFFICE AT LEAST 48 HOURS PRIOR TO THE START OF ANY REGULATED ACTIVITIES. THIS NOTICE MUST INCLUDE:
  - THE NAME OF THE APPROVED PROJECT;
  - THE ACTIVITY START DATE; AND
  - THE CONTACT INFORMATION OF THE PRIME CONTRACTOR.
2. ALL CONTRACTORS CONDUCTING REGULATED ACTIVITIES ASSOCIATED WITH THIS PROJECT MUST BE PROVIDED WITH COMPLETE COPIES OF THE APPROVED WATER POLLUTION ABATEMENT PLAN (WPAP) AND THE TCEQ LETTER INDICATING THE SPECIFIC CONDITIONS OF ITS APPROVAL. DURING THE COURSE OF THESE REGULATED ACTIVITIES, THE CONTRACTORS ARE REQUIRED TO KEEP ON-SITE COPIES OF THE APPROVED PLAN AND APPROVAL LETTER.
3. IF ANY SENSITIVE FEATURE(S) (CAVES, SOLUTION CAVITY, SINK HOLE, ETC.) IS DISCOVERED DURING CONSTRUCTION, ALL REGULATED ACTIVITIES NEAR THE SENSITIVE FEATURE MUST BE SUSPENDED IMMEDIATELY. THE APPROPRIATE TCEQ REGIONAL OFFICE MUST BE IMMEDIATELY NOTIFIED OF ANY SENSITIVE FEATURES ENCOUNTERED DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES MAY NOT BE RESUMED UNTIL THE TCEQ HAS REVIEWED AND APPROVED THE APPROPRIATE PROTECTIVE MEASURES IN ORDER TO PROTECT ANY SENSITIVE FEATURE AND THE EDWARDS AQUIFER FROM POTENTIALLY ADVERSE IMPACTS TO WATER QUALITY.
4. NO TEMPORARY OR PERMANENT HAZARDOUS SUBSTANCE STORAGE TANK SHALL BE INSTALLED WITHIN 150 FEET OF A WATER SUPPLY SOURCE, DISTRIBUTION SYSTEM, WELL, OR SENSITIVE FEATURE.
5. PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY, ALL TEMPORARY EROSION AND SEDIMENTATION (E&S) CONTROL MEASURES MUST BE PROPERLY INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED PLANS AND MANUFACTURERS SPECIFICATIONS. IF INSPECTIONS INDICATE A CONTROL HAS BEEN USED INAPPROPRIATELY, OR INCORRECTLY, THE APPLICANT MUST REPLACE OR MODIFY THE CONTROL FOR SITE SITUATIONS. THESE CONTROLS MUST REMAIN IN PLACE UNTIL THE DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
6. ANY SEDIMENT THAT ESCAPES THE CONSTRUCTION SITE MUST BE COLLECTED AND PROPERLY DISPOSED OF BEFORE THE NEXT RAIN EVENT TO ENSURE IT IS NOT WASHED INTO SURFACE STREAMS, SENSITIVE FEATURES, ETC.
7. SEDIMENT MUST BE REMOVED FROM THE SEDIMENT TRAPS OR SEDIMENTATION BASINS NOT LATER THAN WHEN IT OCCUPIES 50% OF THE BASIN'S DESIGN CAPACITY.
8. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BEING DISCHARGED OFFSITE.
9. ALL SPOILS (EXCAVATED MATERIAL) GENERATED FROM THE PROJECT SITE MUST BE STORED ON-SITE WITH PROPER E&S CONTROLS. FOR STORAGE OR DISPOSAL OF SPOILS AT ANOTHER SITE ON THE EDWARDS AQUIFER RECHARGE ZONE, THE OWNER OF THE SITE MUST RECEIVE APPROVAL OF A WATER POLLUTION ABATEMENT PLAN FOR THE PLACEMENT OF FILL MATERIAL OR MASS GRADING PRIOR TO THE PLACEMENT OF SPOILS AT THE OTHER SITE.
10. IF PORTIONS OF THE SITE WILL HAVE A TEMPORARY OR PERMANENT CEASE IN CONSTRUCTION ACTIVITY LASTING LONGER THAN 14 DAYS, SOIL STABILIZATION IN THOSE AREAS SHALL BE INITIATED AS SOON AS POSSIBLE PRIOR TO THE 14TH DAY OF INACTIVITY. IF ACTIVITY WILL RESUME PRIOR TO THE 21ST DAY, STABILIZATION MEASURES ARE NOT REQUIRED. IF DROUGHT CONDITIONS OR INCLEMENT WEATHER PREVENT ACTION BY THE 14TH DAY, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE.
11. THE FOLLOWING RECORDS SHALL BE MAINTAINED AND MADE AVAILABLE TO THE TCEQ UPON REQUEST:
  - THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR;
  - THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; AND
  - THE DATES WHEN STABILIZATION MEASURES ARE INITIATED.
12. THE HOLDER OF ANY APPROVED EDWARDS AQUIFER PROTECTION PLAN MUST NOTIFY THE APPROPRIATE REGIONAL OFFICE IN WRITING AND OBTAIN APPROVAL FROM THE EXECUTIVE DIRECTOR PRIOR TO INITIATING ANY OF THE FOLLOWING:
  - A. ANY PHYSICAL OR OPERATIONAL MODIFICATION OF ANY WATER POLLUTION ABATEMENT STRUCTURE(S), INCLUDING BUT NOT LIMITED TO PONDS, DAMS, BERMS, SEWAGE TREATMENT PLANTS, AND DIVERSIONARY STRUCTURES;
  - B. ANY CHANGE IN THE NATURE OR CHARACTER OF THE REGULATED ACTIVITY FROM THAT WHICH WAS ORIGINALLY APPROVED OR A CHANGE WHICH WOULD SIGNIFICANTLY IMPACT THE ABILITY OF THE PLAN TO PREVENT POLLUTION OF THE EDWARDS AQUIFER;
  - C. ANY DEVELOPMENT OF LAND PREVIOUSLY IDENTIFIED AS UNDEVELOPED IN THE ORIGINAL WATER POLLUTION ABATEMENT PLAN.

AUSTIN REGIONAL OFFICE  
12100 PARK 35 CIRCLE, BUILDING A  
AUSTIN, TEXAS 78753-1808  
PHONE (512) 339-2929  
FAX (512) 339-3795

SAN ANTONIO REGIONAL OFFICE  
14250 JUDSON ROAD  
SAN ANTONIO, TEXAS 78233-4480  
PHONE (210) 490-3096  
FAX (210) 545-4329

CONSTRUCTION SEQUENCING

1. INSTALL TEMPORARY EROSION CONTROLS, TREE PROTECTION FENCING AND BARRICADES PRIOR TO ANY SITE CLEARING AND GRUBBING. NOTIFY THE PROJECT ENGINEER WHEN INSTALLED.
2. HOLD PRECONSTRUCTION CONFERENCE.
3. MODIFY TEMPORARY E&S CONTROLS AS NEEDED.
4. EXCAVATE EXISTING DAM AND RESTORE STREAM CHANNEL TO GRADE UPSTREAM OF EXISTING DAM EMBANKMENT TO THE PROPERTY LINE.
5. BEGIN GRADING OF PROPOSED BERM AND CONSTRUCT CONCRETE WEIR.
6. COMPLETE BERM AND ACCESS GRADING.
7. COMPLETE PERMANENT EROSION CONTROL AND RESTORATION OF SITE VEGETATION.
8. REMOVE AND DISPOSE OF TEMPORARY EROSION CONTROLS.
9. COMPLETE ANY NECESSARY FINAL CLEAN UP.

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
2. ALL CONSTRUCTION ACTIVITY SHALL BE CONFINED TO THE PROPERTY CONTROLLED BY THE JOHNSON RANCH MUNICIPAL UTILITY DISTRICT.
3. CLEARING, TREE REMOVAL, AND GROUND DISTURBANCE SHALL BE LIMITED TO THE MINIMUM REQUIRED TO ACCOMPLISH THE WORK.
4. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE BETWEEN THE CITY OF BULVERDE, CONSULTING ENGINEER, CONTRACTOR, COUNTY ENGINEER (IF APPROPRIATE), JOHNSON RANCH MUD, TCEQ, AND ANY OTHER AFFECTED PARTIES. NOTIFY PROJECT ENGINEER AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. ANY EXISTING FENCE AND/OR OTHER IMPROVEMENTS REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
6. ALL LOOSE MATERIALS, TRASH, DEBRIS, ETC. SHALL BE REMOVED FROM THE SITE AT THE END OF EACH WORK DAY.
7. NO TREES SHALL BE REMOVED WITHOUT APPROVAL OF THE PROJECT ENGINEER. EXISTING VEGETATION AND STONE WALL ALONG THE EAST BANK OF THE STREAM SHALL BE PROTECTED DURING CONSTRUCTION.

ON-SITE FILL SPECIFICATIONS

- A. SELECTION OF ON-SITE FILL MATERIAL SHALL BE GUIDED BY THE FOLLOWING CRITERIA:
  1. THE MATERIAL SHALL NOT CONTAIN ANY ROCKS HAVING A MAXIMUM DIMENSION GREATER THAN SIX (6) INCHES WITHOUT THE APPROVAL OF THE PROJECT ENGINEER.
  2. THE MATERIAL SHALL HAVE AT LEAST FIFTY PERCENT (50%) PASSING THE NO. 4 SIEVE.
  3. THE MATERIAL SHALL BE FREE OF ROOTS, TRASH, AND OTHER ORGANIC MATERIAL.
- B. COMPACTION SHALL BE TO NINETY-TWO PERCENT (92%) OF MAXIMUM LABORATORY DENSITY DETERMINED IN ACCORDANCE WITH ASTM D 698. THE MATERIAL SHALL BE WITHIN THREE (3) PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT DURING COMPACTION.
- C. PLACEMENT SHALL BE IN LIFTS NOT EXCEEDING EIGHT (8) INCHES AFTER COMPACTION. EACH COMPACTED LIFT SHOULD BE INSPECTED AND/OR TESTED FOR DENSITY COMPLIANCE BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING THE NEXT LIFT.
- D. DEVIATIONS FROM THE ABOVE SPECIFICATIONS MAY BE PERMITTED UPON APPROVAL FROM THE PROJECT ENGINEER.

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GENERAL NOTES

JOHNSON RANCH  
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BULVERDE



PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: N/A V: N/A

JOB No. 005522-04-003

DATE : 03/10/2016

FILE No. 5522-04-003-NTS

SHEET 2 OF 17



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EXISTING CONDITIONS - OVERALL

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PLAN STATUS

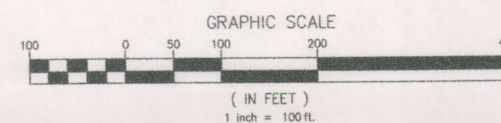
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## SAN ANTONIO

FEMA 100-YR FLOODPLAIN  
EDWARD'S AQUIFER RECHARGE  
ZONE

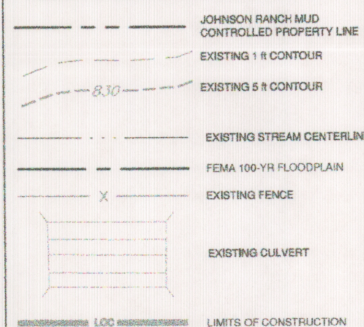
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# LEGEND



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HEREFORD RANCH, LTD.  
DOC. # 200006037238  
O.R.C.T.Y.

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TYPE Firm Registration No. F-14389

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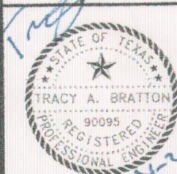
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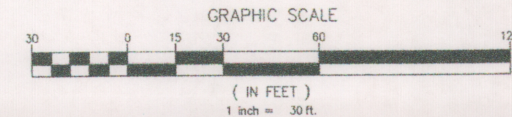
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PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30'
	V: N/A
JOB No.	005522-04-003
DATE :	03/10/2016
FILE No.	5522-04-003-XFT

SHEET 4 OF 17



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JOHNSON RANCH  
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PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30' V: N/A
JOB No.	005522-04-003
DATE :	03/10/2016
FILE No.	5522-04-003-XFT
SHEET	5 of 17

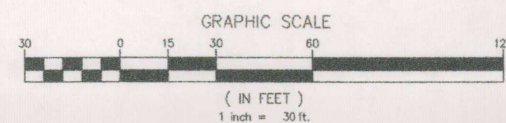
LEGEND

- JOHNSON RANCH MUD CONTROLLED PROPERTY LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- EXISTING STREAM CENTERLINE
- FEMA 100-YR FLOODPLAIN
- EXISTING FENCE
- EXISTING CULVERT
- LOC LIMITS OF CONSTRUCTION

MATCHLINE SHEET 4

MATCHLINE SHEET 6

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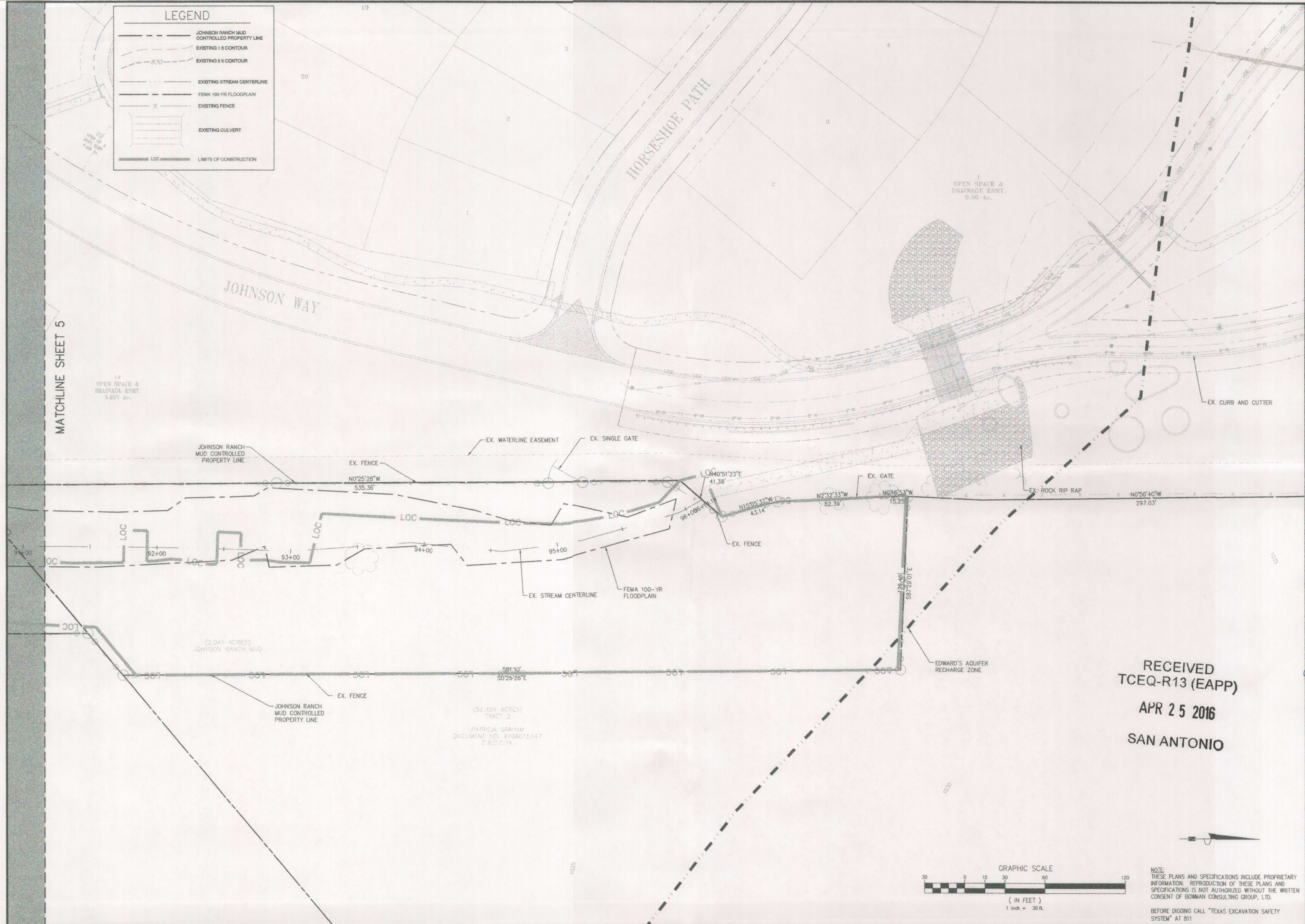
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**LEGEND**

- JOHNSON RANCH MUD CONTROLLED PROPERTY LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- EXISTING STREAM CENTERLINE
- FEMA 100-YR FLOODPLAIN
- EXISTING FENCE
- EXISTING CULVERT
- LOC LIMITS OF CONSTRUCTION

MATCHLINE SHEET 5



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EXISTING CONDITIONS - SHEET 3 OF 3

**JOHNSON RANCH**  
BERM DESIGN

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RSD	JH TB
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	V: N/A

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GRAPHIC SCALE

( IN FEET )

1 inch = 30 ft.

JOB No. 005522-04-003

DATE: 03/10/2016

FILE No. 5522-04-003-XFT

SHEET 6 OF 17

W:\005522 - Johnson Ranch\005522-04-003 (ENG) - Stormwater Project-Final Design and Permitting\For Review\ACAD\Construction Plan\5522-04-003-XFT.dwg 11:22 AM 03/10/2016



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EROSION & SEDIMENTATION CONTROL - SHEET 1 OF 3

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PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30'
	V: N/A
JOB No.	005522-04-003
DATE :	03/10/2016
FILE No.	5522-04-003-ES

SHEET 7 OF 17

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REMAINDER (750 ACRES)  
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HEREFORD RANCH, LTD.  
DCC. # 200006037233  
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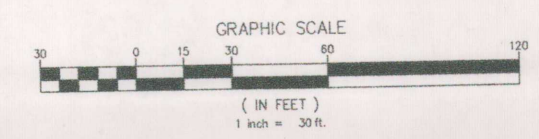
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APR 25 2016  
SAN ANTONIO

NOTE:

CONTRACTOR SHALL PERFORM MINOR GRADING FOR  
TRUCK ACCESS. MINOR GRADING OPERATIONS SHALL  
NOT IMPACT EXISTING DRAINAGE PATTERNS.

GENERAL NOTES

1. MINIMUM OF FOUR INCHES (4") OF TOP SOIL  
SHALL BE PLACED ON PROPOSED BERM GRADING.
2. CONTRACTOR SHALL PLACE 100% BIODEGRADABLE  
COIR FABRIC WITH A WEIGHT OF AT LEAST 700  
G/M<sup>2</sup>. FABRIC SHALL BE PLACED ONCE  
PERMANENT SEEDING AND COMPOST HAS BEEN  
PLACED. BIODEGRADABLE STAKES SHALL BE USED  
INSTEAD OF WIRE STAPLES.



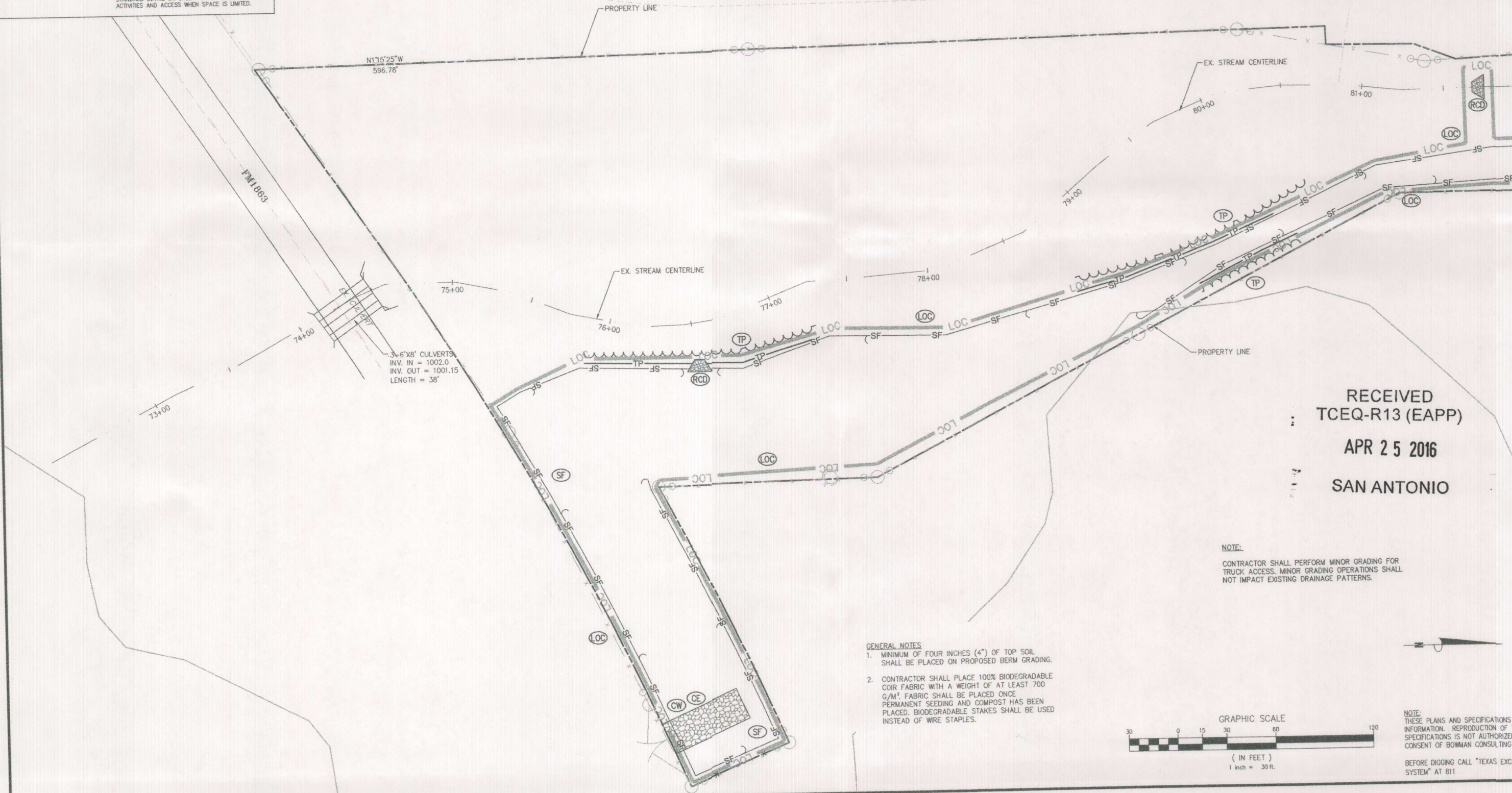
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BEFORE DIGGING CALL "TEXAS EXCAVATION SAFETY  
SYSTEM" AT 811

LEGEND

- JOHNSON RANCH MUD CONTROLLED PROPERTY LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- STREAM CENTERLINE
- TP TREE PROTECTION FENCE
- SF SILT FENCE
- LOC LIMITS OF CONSTRUCTION
- CE STABILIZED CONSTRUCTION ENTRANCE
- SA STAGING AREA
- P PUMP AROUND
- CW CONCRETE WASHOUT AREA
- RCD ROCK CHECK DAM
- J-HOOK

\*CONTRACTOR SHALL MODIFY SIZE OF J-HOOK FROM  
STANDARD DETAIL ON SHEET 10 FOR CONSTRUCTION  
ACTIVITIES AND ACCESS WHEN SPACE IS LIMITED.





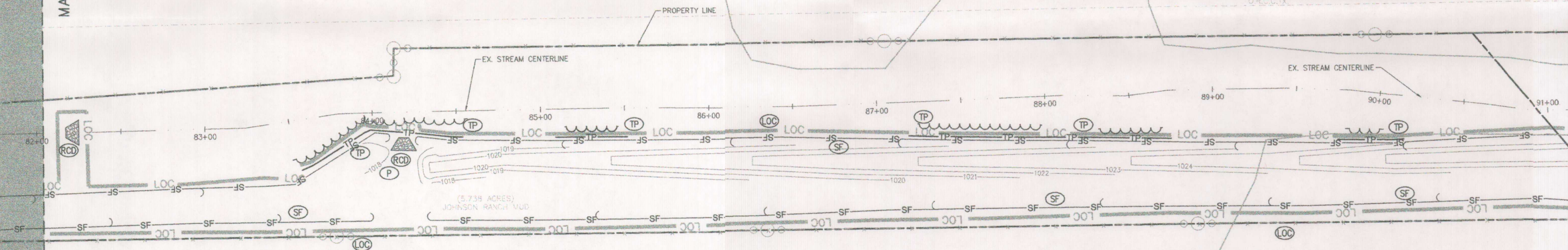
# LEGEND

- JOHNSON RANCH MUD CONTROLLED PROPERTY LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- STREAM CENTERLINE
- TP TREE PROTECTION FENCE
- SF SILT FENCE
- LOC LIMITS OF CONSTRUCTION
- CE STABILIZED CONSTRUCTION ENTRANCE
- SA STAGING AREA
- P PUMP AROUND
- CW CONCRETE WASHOUT AREA
- RCD ROCK CHECK DAM
- J-HOOK

\*CONTRACTOR SHALL MODIFY SIZE OF J-HOOK FROM STANDARD DETAIL ON SHEET 10 FOR CONSTRUCTION ACTIVITIES AND ACCESS WHEN SPACE IS LIMITED.

MATCHLINE SHEET 7

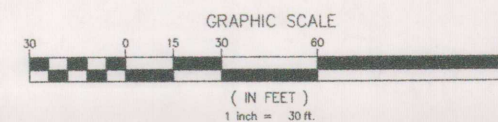
MATCHLINE SHEET 9



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APR 25 2016  
SAN ANTONIO

## GENERAL NOTES

- MINIMUM OF FOUR INCHES (4") OF TOP SOIL SHALL BE PLACED ON PROPOSED BERM GRADING.
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# Bowman

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EROSION & SEDIMENTATION CONTROL - SHEET 2 OF 3

JOHNSON RANCH  
BERM DESIGN

TEXAS

BULVERDE



PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30' V: N/A

JOB No. 005522-04-003

DATE : 03/10/2016

FILE No. 5522-04-003-ES

SHEET 8 OF 17



CPY 200

JOHNSON RANCH  
BERM DESIGN

100

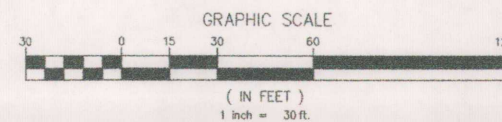


PLAN STATUS

[illegible]

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MATCHLINE SHEET 8

LEGEND

JOHNSON RANCH MUD CONTROLLED PROPERTY LINE

EXISTING 1 ft. CONTOUR

EXISTING 5 ft CONTOUR

PROPOSED 1 ft CONTROL

PROPOSED 5 ft CONTROL

STREAM CENTERLINE

TREE PROTECTION FEE

SALT FENCE

LIMITS OF CONTRACT

STABILIZED CONSTRUCTION  
ENTRANCE

031040-1051

## PUMP AROUND

CONCRETE WASHOUT

J-HOOK  
\*CONTRACTOR SHALL MODIFY SIZE OF J-HOOK FROM  
STANDARD DETAIL ON SHEET 10 FOR CONSTRUCTION  
ACTIVITIES AND ACCESS WHEN SPACE IS LIMITED.

3-96" CULVERTS  
INV. IN = 1025.6  
INV. OUT = 1025.5  
LENGTH = 54

CONTRACTOR SHALL REMOVE  
AND REPLACE FENCE AS  
NECESSARY FOR  
CONSTRUCTION ACTIVITIES

PUMP AROUND SHALL BE  
UTILIZED WHEN EXCAVATING  
EXISTING DAM EMBANKMENT  
IF NECESSARY

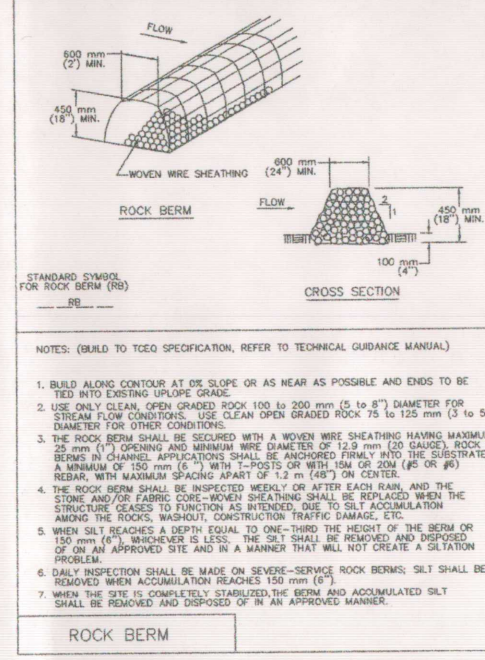
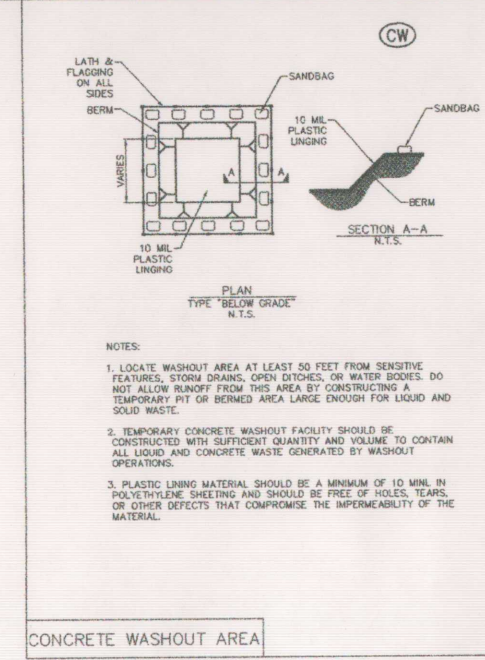
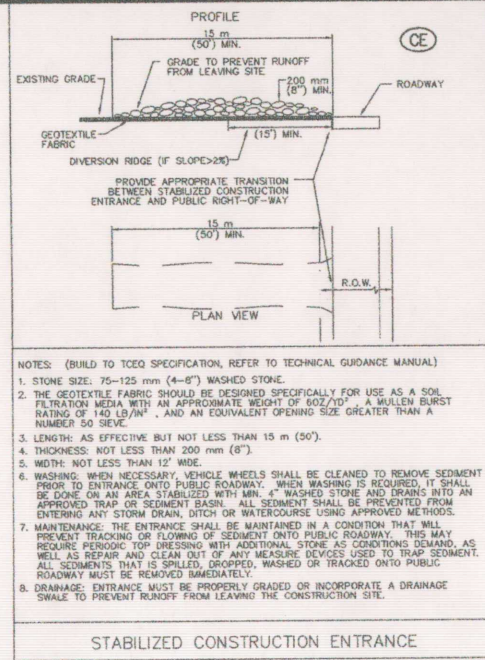
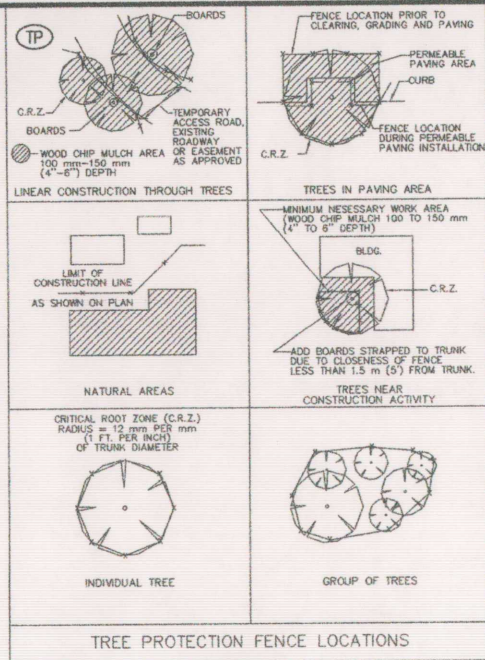
EXISTING TREES —  
DO NOT DISTURB

PROPERTY LINE

STAGING AREA

EDWARD'S AQUIFER  
RECHARGE ZONE





### STABILIZATION / REVEGETATION NOTES

- THE CONTRACTOR SHALL INSTALL EROSION/SEDIMENTATION CONTROLS AND TREE/NATURAL AREA PROTECTIVE FENCING PRIOR TO ANY SITE PREPARATION WORK (CLEARING, GRUBBING OR EXCAVATION).
- THE PLACEMENT OF EROSION/SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE TCEQ TECHNICAL GUIDANCE MANUAL AND THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN.
- ANY MAJOR VARIATION IN MATERIALS OR LOCATIONS OF CONTROLS OR FENCES FROM THOSE SHOWN ON THE APPROVED PLANS WILL REQUIRE A REVISION AND MUST BE APPROVED BY THE PROJECT ENGINEER. MINOR CHANGES TO BE MADE AS FIELD REVISIONS TO THE EROSION AND SEDIMENTATION CONTROL PLAN MAY BE REQUIRED BY THE SWPPP INSPECTOR DURING THE COURSE OF CONSTRUCTION TO CORRECT CONTROL INADEQUACIES.
- THE CONTRACTOR IS REQUIRED TO INSPECT THE CONTROLS AND FENCES AT WEEKLY INTERVALS AND AFTER SIGNIFICANT RAINFALL EVENTS TO INSURE THAT THEY ARE FUNCTIONING PROPERLY. THE PERSON(S) RESPONSIBLE FOR MAINTENANCE OF CONTROLS AND FENCES SHALL IMMEDIATELY MAKE ANY NECESSARY REPAIRS TO DAMAGED AREAS. SILT ACCUMULATION AT CONTROLS MUST BE REMOVED WHEN THE DEPTH REACHES SIX (6) INCHES.
- PRIOR TO FINAL ACCEPTANCE, HAUL ROADS AND WATERWAY CROSSINGS CONSTRUCTED FOR TEMPORARY CONTRACTOR ACCESS MUST BE REMOVED, ACCUMULATED SEDIMENT REMOVED FROM THE WATERWAY AND THE AREA RESTORED TO THE ORIGINAL GRADE AND REVEGETATED. ALL LAND CLEARING DEBRIS SHALL BE DISPOSED OF IN APPROVED SPOIL DISPOSAL SITES.
- ALL WORK MUST STOP IF A VOID IN THE ROCK SUBSTRATE IS DISCOVERED WHICH IS: ONE SQUARE FOOT IN TOTAL AREA; BLOWS AIR FROM WITHIN THE SUBSTRATE AND/OR CONSISTENTLY RECEIVES WATER DURING ANY RAIN EVENT. AT THIS TIME IT IS THE RESPONSIBILITY OF THE PROJECT MANAGER TO IMMEDIATELY CONTACT A TCEQ INSPECTOR FOR FURTHER INVESTIGATION. PERMANENT EROSION CONTROL: ALL DISTURBED AREAS SHALL BE RESTORED AS NOTED BELOW.
  - A MINIMUM OF FOUR INCHES OF TOPSOIL SHALL BE PLACED OVER THE EARTHEN BERM.
  - RESEEDING SHALL IMMEDIATELY FOLLOW TOP SOILING WITH THE FOLLOWING MIXTURE OF GRASSES AT THE FOLLOWING RATES OF APPLICATION:
 

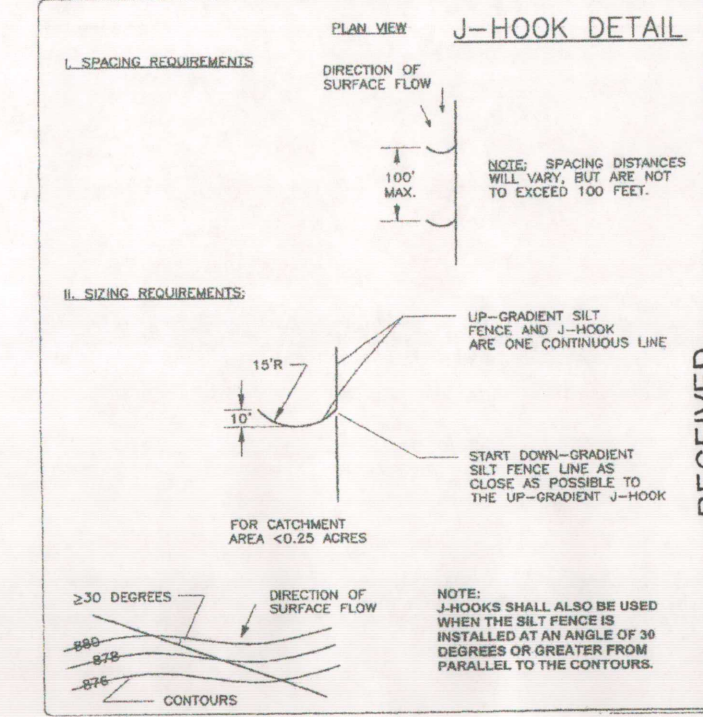
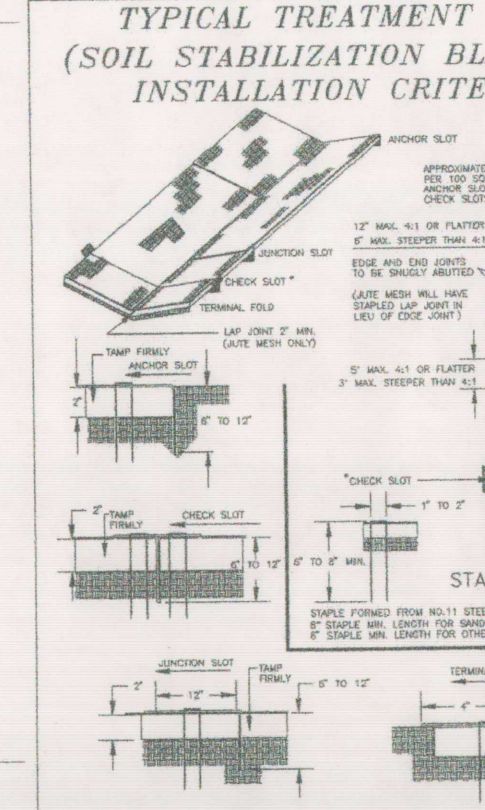
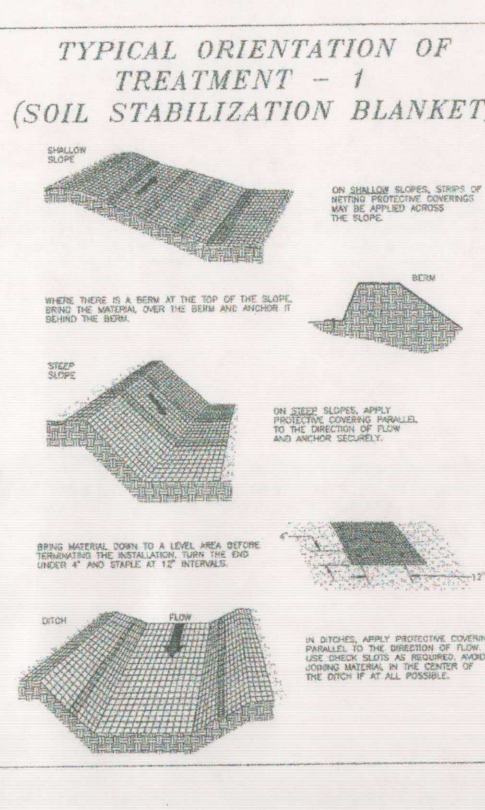
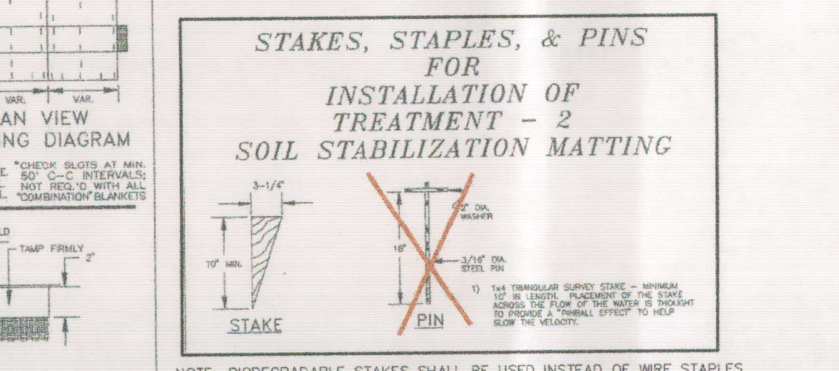
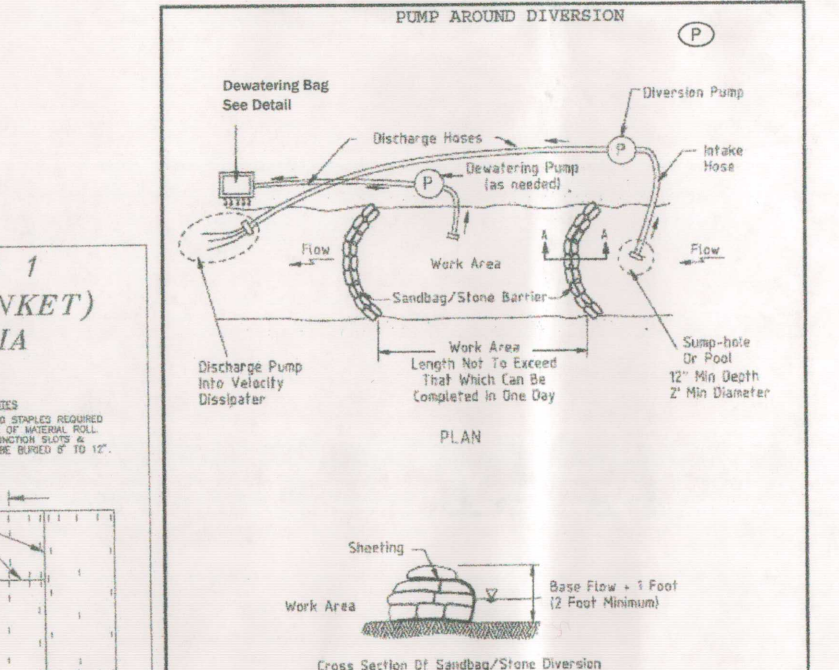
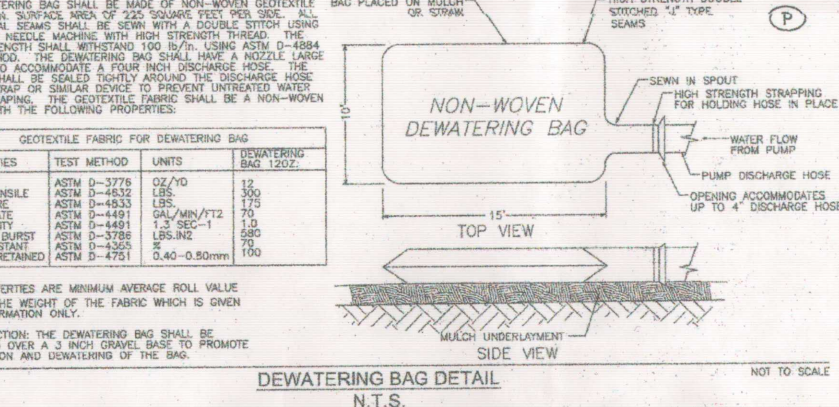
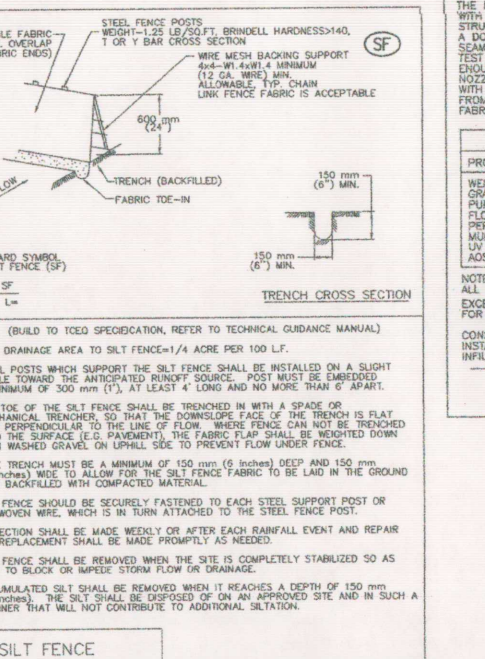
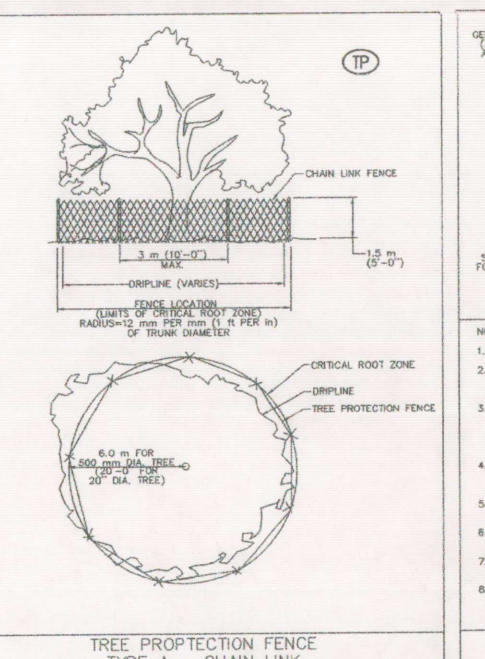
GRASS TYPE	RATE (LBS/ACRE)
BLUE GRAMA	5.0
TREATED "TOP GUN" BUFFALO GRASS	10.0
TEXAS BLUEGRASSES	4.0
PRAIRIE VERBENAS	0.5
GREENTHREAD	1.0
PLAINS COREOPSIS	0.5
TOTAL SEEDING RATE*	21.0

\* PERENNIAL RYE GRASS TO BE ADDED TO THE DESCRIBED MIX AT A RATE OF 10 LBS/ACRE WHEN SEEDING BETWEEN OCTOBER 1 AND MARCH 31.

- FERTILIZER SHALL BE A PELLETTED OR GRANULAR SLOW RELEASE WITH AN ANALYSIS OF 15-15-15 TO BE APPLIED ONCE AT PLANTING AND ONCE DURING THE PERIOD OF ESTABLISHMENT AT A RATE OF 1 POUND PER 1000 SF.
- FERTILIZER SHALL BE A WATER SOLUBLE FERTILIZER WITH AN ANALYSIS OF 15-15-15 AT A RATE OF 1.5 POUNDS PER 1000 SF.
- MULCH TYPE USED SHALL BE HAY, STRAW OR MULCH APPLIED AT A RATE OF 45 POUNDS PER 1000 SF, WITH SOIL TACKIFIER AT A RATE OF 1.4 POUNDS PER 1000 SF.
- THE PLANTED AREA SHALL BE IRRIGATED OR SPRINKLED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, BUT WILL SUFFICIENTLY SOAK THE SOIL TO A DEPTH OF SIX INCHES. THE IRRIGATION SHALL OCCUR AT TEN-DAY INTERVALS DURING THE FIRST TWO MONTHS RAINFALL OCCURRENCES OF 1/4 INCH OR MORE SHALL POSTPONE THE WATERING SCHEDULE FOR ONE WEEK.
- RESTORATION SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1 1/2 INCHES HIGH WITH 95% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST.
- WHEN REQUIRED, NATIVE GRASS SEEDING SHALL COMPLY WITH REQUIREMENTS OF THE CITY OF AUSTIN ENVIRONMENTAL CRITERIA MANUAL.
- ANNUAL GRASSES SUCH AS RYE GRASS WILL NOT BE ACCEPTED AS PERMANENT VEGETATION.
- ALL DISTURBED AREAS TO BE STABILIZED BY VEGETATION OR STRUCTURE. HAUL ROAD AREAS MAY REQUIRE AERATION OR TILLING OF HEAVILY TRAVELED AREAS TO FACILITATE RE-VEGETATION.
- DEVELOPER INFORMATION:
 

OWNER:  
JOHNSON RANCH MUD  
C/O PHILIP S. HAAG  
600 CONGRESS AVENUE  
SUITE 2100  
AUSTIN, TEXAS 78701  
512-495-6005

OWNER'S REPRESENTATIVE RESPONSIBLE FOR PLAN ALTERATIONS:  
BOWMAN CONSULTING GROUP  
3101 BEE CAVES ROAD #100  
AUSTIN, TEXAS 78745  
512-237-1180



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APR 25 2016  
SAN ANTONIO

PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: N/A V: N/A
JOB No.	005522-04-003
DATE :	03/10/2016
FILE No.	5522-04-003-ESD
SHEET	10 of 17

**Bowman CONSULTING**

Bowman Consulting Group, Ltd.  
12305 Capital of Texas Hwy.  
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Austin, Texas 78746

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Fax: (512) 327-1082  
www.bowmanconsulting.com

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**JOHNSON RANCH BERM DESIGN**

EROSION & SEDIMENTATION CONTROL NOTES & DETAILS

BULVERDE

STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
TRACY A. BRATTON  
90095  
EXPIRATION DATE 08/31/2016

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Bldg. 3, Ste. 220  
Austin, Texas 78746

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GRADING - OVERALL

PIU' VERDE



SHEET 11 OF 17

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SYSTEM" AT 811



# LEGEND

	PROPERTY LINE
	EXISTING 1 ft CONTOUR
	EXISTING 5 ft CONTOUR
	PROPOSED 1 ft CONTOUR
	PROPOSED 5 ft CONTOUR
	PROPOSED SPOT SHOT
	FEMA 100-YR FLOODPLAIN
	EXISTING STREAM CENTERLINE
	EXISTING FENCE
	EXISTING TREE LINE
	PROPOSED TREE LINE
	LIMITS OF CONSTRUCTION
	PROPOSED CROSS-SECTION
	"SEE SHEET 16 FOR PROFILES"

1120 S. Capital of Texas Hwy.  
Bldg. 3, Ste. 220  
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BULVERDE

JOHNSON RANCH  
BERM DESIGN

AN STATUS

DATE	DESCRIPTION	
SD	JH	TB
SIGN	DRAWN	CHKD
SCALE	H: 1" = 30" V: N/A	
Job No.	005522-04-003	
DATE :	03/10/2016	
Job No.	5522-04-003-GRD	

SHEET 12 OF 17

SAN ANTONIO

NOTE:  
SEE SHEET 15 FOR SPOT  
ELEVATION NORTHING AND  
EASTING TABLE.

GENERAL NOTES

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2. CONTRACTOR SHALL PLACE 100% BIODEGRADABLE COIR FABRIC WITH A WEIGHT OF AT LEAST 700 G/M<sup>2</sup>. FABRIC SHALL BE PLACED ONCE PERMANENT SEEDING AND COMPOST HAS BEEN PLACED. BIODEGRADABLE STAKES SHALL BE USED INSTEAD OF WIRE STAPLES.

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GRAPHIC SCALE

( IN FEET )  
1 inch = 30 ft.

W:\005522 - Johnson Ranch\005522-04-003 (ENG) - Stormwater Project-Final Design and Permitting\Engineering\ACAD\Construction Plan\5522-04-003-GRD.dwg, Layout1, April 20, 2016, 2:29 PM, ahusejnovic

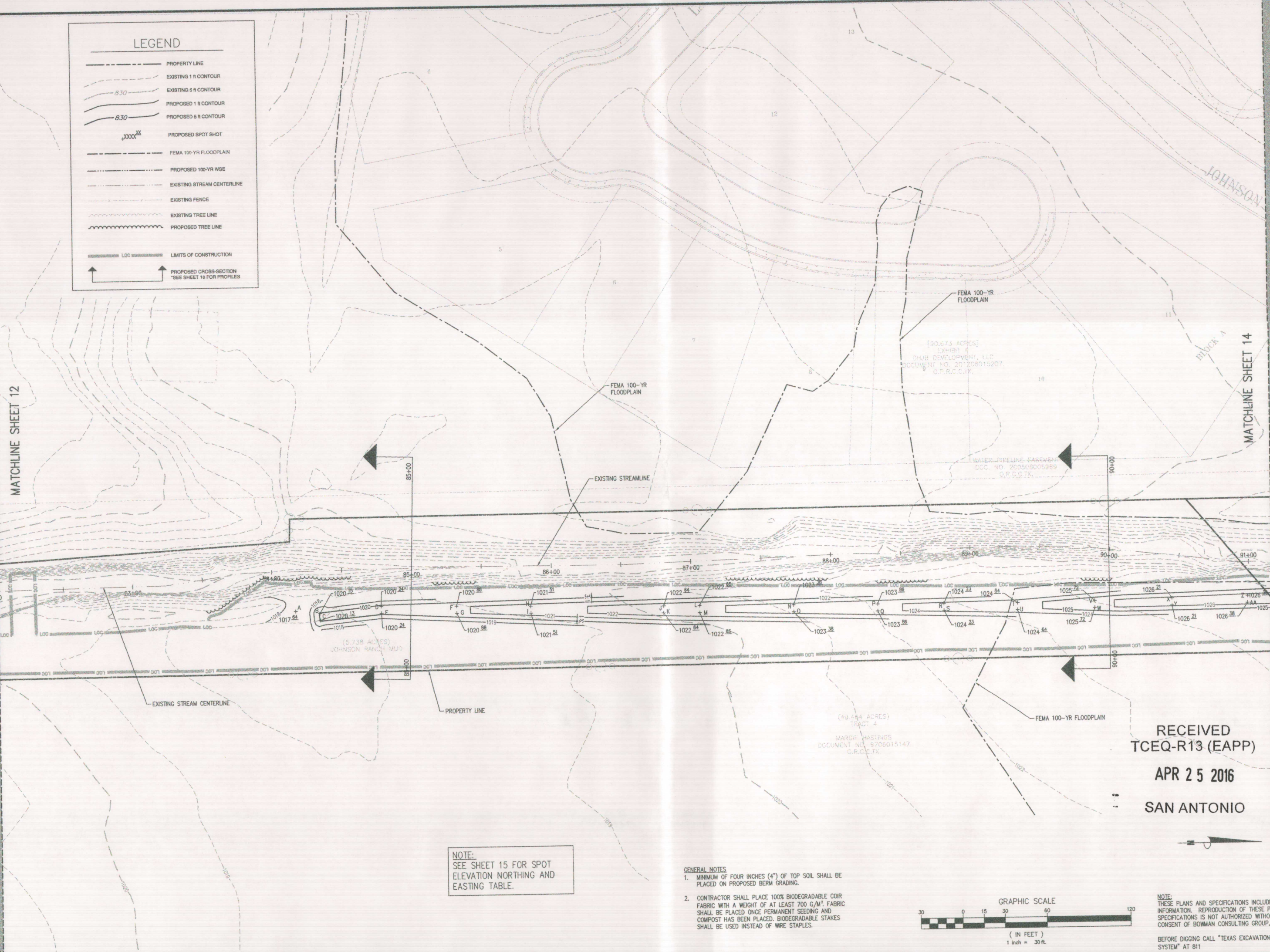


**LEGEND**

- PROPERTY LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- PROPOSED SPOT SHOT
- FEMA 100-YR FLOODPLAIN
- PROPOSED 100-YR WSE
- EXISTING STREAM CENTERLINE
- EXISTING FENCE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- LIMITS OF CONSTRUCTION
- PROPOSED CROSS-SECTION  
SEE SHEET 16 FOR PROFILES

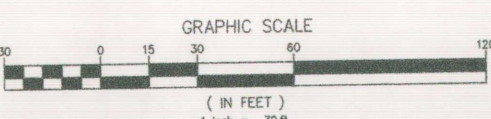
MATCHLINE SHEET 12

MATCHLINE SHEET 14



NOTE:  
SEE SHEET 15 FOR SPOT  
ELEVATION NORTHING AND  
EASTING TABLE.

- GENERAL NOTES**
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TBPE Firm Registration No. F-14309

GRADING - SHEET 2 OF 3

**JOHNSON RANCH**

**BERM DESIGN**

TEXAS

BULVERDE

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APR 25 2016

SAN ANTONIO

PLAN STATUS		
DATE	DESCRIPTION	
RSD	JH	TB
DESIGN	DRAWN	CHKD
SCALE	H: 1" = 30'	V: N/A
JOB No.	005522-04-003	
DATE	03/10/2016	
FILE No.	5522-04-003-GRD	
SHEET	13 OF 17	



RECEIVED  
TCEQ-R13 (EAP)  
APR 25 2016  
SAN ANTONIO



PLAN STATUS

DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: 1" = 30' V: N/A
JOB No.	005522-04-003
DATE	03/10/2016
FILE No.	5522-04-003-GRD

## LEGEND

- PROPERTY LINE
- EXISTING 1 ft CONTOUR
- EXISTING 5 ft CONTOUR
- PROPOSED 1 ft CONTOUR
- PROPOSED 5 ft CONTOUR
- PROPOSED SPOT SHOT
- PROPOSED SPOT DESIGNATION
- PROPOSED WEIR
- FEMA 100-YR FLOODPLAIN
- EXISTING STREAM CENTERLINE
- EXISTING FENCE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- LIMITS OF CONSTRUCTION
- PROPOSED CROSS-SECTION  
SEE SHEET 16 FOR PROFILES

MATCHLINE SHEET 13

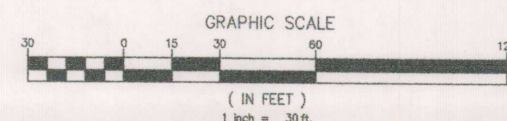
CONTRACTOR SHALL EXCAVATE EXISTING DAM  
SEDIMENT AND RETURN STREAM GRADES TO  
SPOT SHOT ELEVATIONS SHOWN

CONTRACTOR SHALL REMOVE AND  
REPLACE FENCE AS NECESSARY  
FOR CONSTRUCTION ACTIVITIES

PROPOSED CONCRETE  
WEIR AND RIPRAP  
(SEE SHEET 17 FOR  
DETAILS)

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SYSTEM" AT 811



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10

CONTROL POINTS		
POINT DESCRIPTION	NORTHING	EASTING
OO	13823767.71	2153870.25
PP	13823816.61	2153862.66
QQ	13823860.16	2153848.63
RR	13823806.74	2153827.87
SS	13823860.80	2153826.99
TT	13823875.87	2153819.99
UU	13823861.33	2153828.70
VV	13823869.33	2153832.88
WW	13823859.73	2153855.59
XX	13823890.58	2153819.99
YY	13823892.31	2153824.00
ZZ	13823936.88	2153798.88
AAA	13823938.78	2153802.00
BBB	13823960.47	2153770.00
CCC	13823609.51	2153798.98
DDD	13823634.44	2153798.98
EEE	13823659.35	2153800.00
FFF	13823684.25	2153802.00
GGG	13823709.10	2153802.00
HHH	13823733.89	2153799.99

NOTE:  
SEE SHEETS 12, 13, & 14 FOR  
LOCATION OF SPOT SHOTS.

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BEFORE DIGGING CALL "TEXAS EXCAVATION SAFETY  
SYSTEM" AT 811



PLAN STATUS

DATE	DESCRIPT
------	----------

DATE	DESCRIPTION
PAGE	14

RSD	JH
DESIGN	DRAWN

DESIGN	DRAWN
	H: N/A

SCALE V: N/A

JOB No. 005522-04

DATE : 03/10/2016

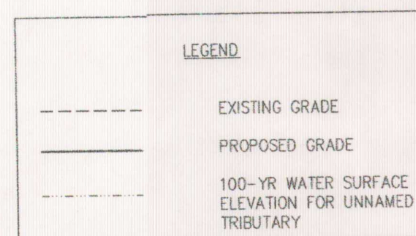
FILE NO. 5522-04-0034

FILE NO. 5522-04-005-1

15

SHEET 15 OF

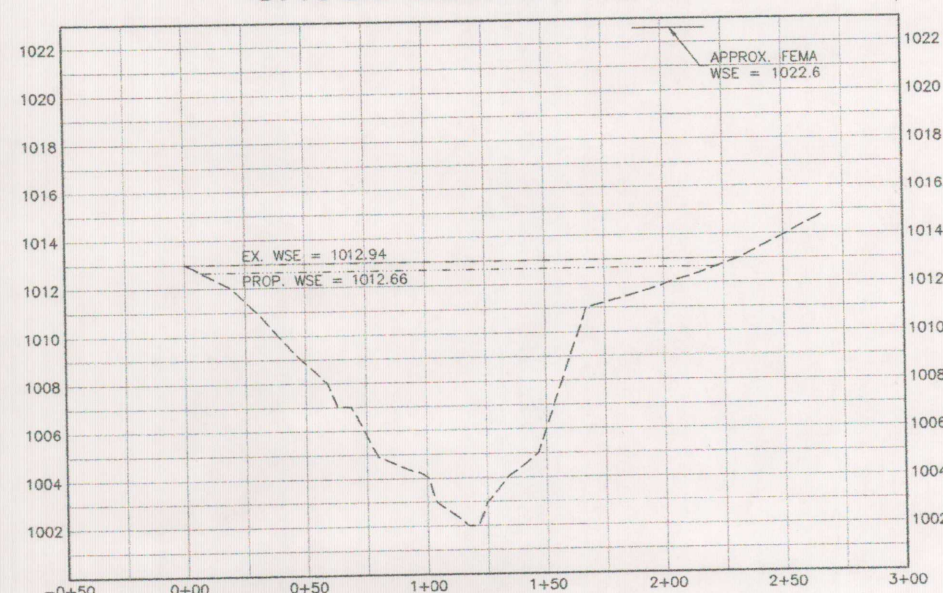




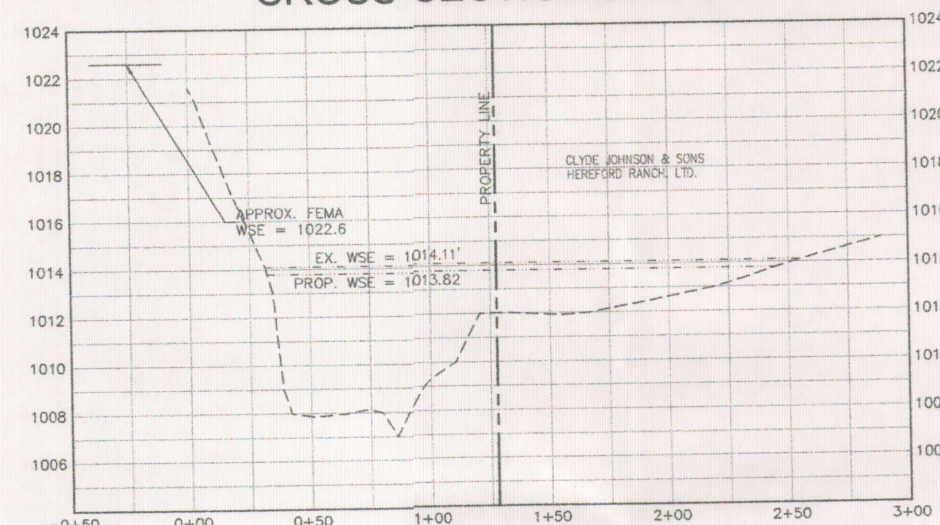
NOTE: FOR CROSS SECTION  
PLAN VIEWS SEE SHEETS 12-14

APPROX. FEMA WSE = 1022.6

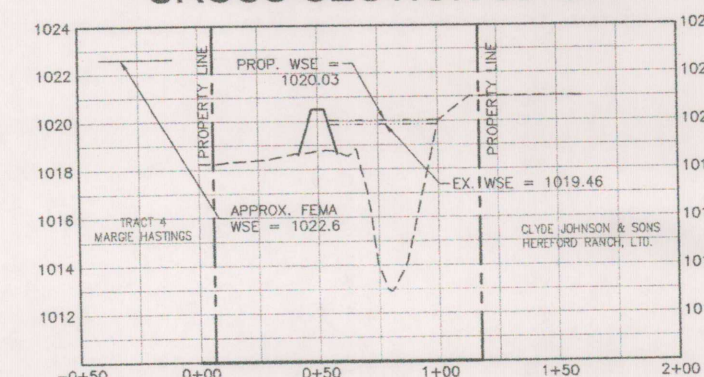
CROSS-SECTION 75+00



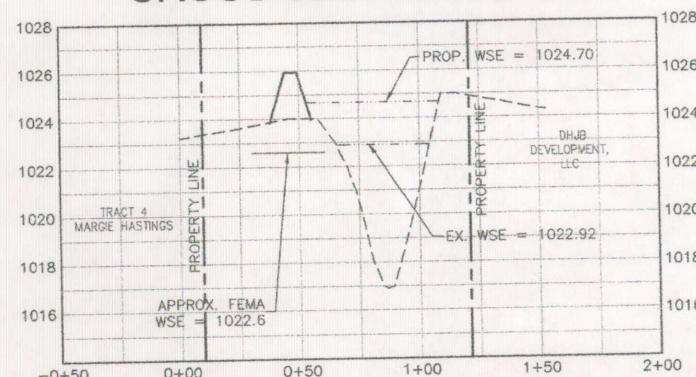
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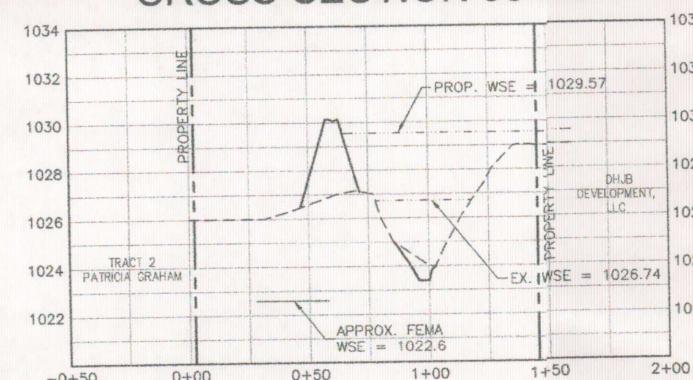
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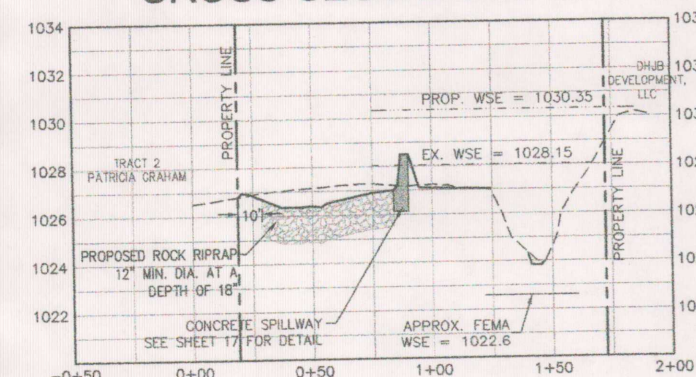
CROSS-SECTION 90+00



CROSS-SECTION 95+00



CROSS-SECTION 95+88



PROFILE SCALE  
HORZ 1" = 40'  
VERT 1" = 4'

RECEIVED  
TCEQ-R13 (EAPP)

APR 25 2016

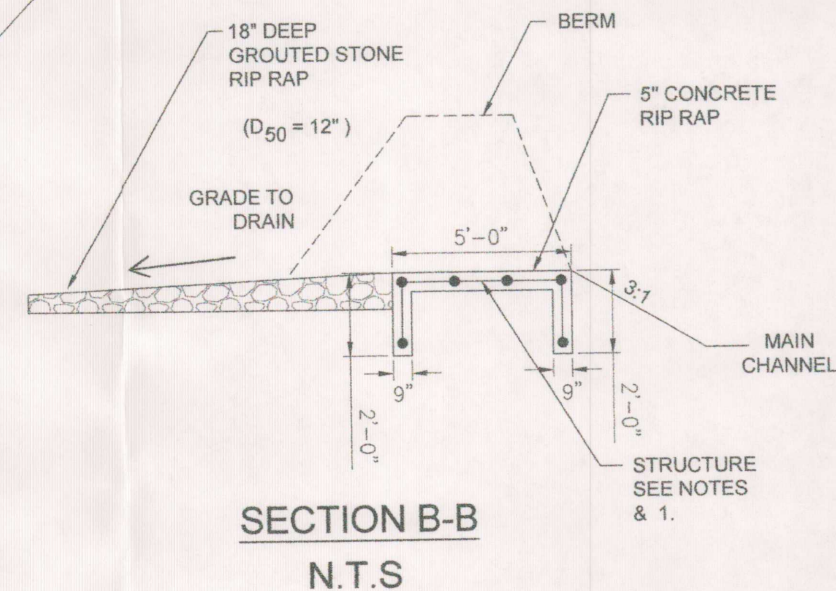
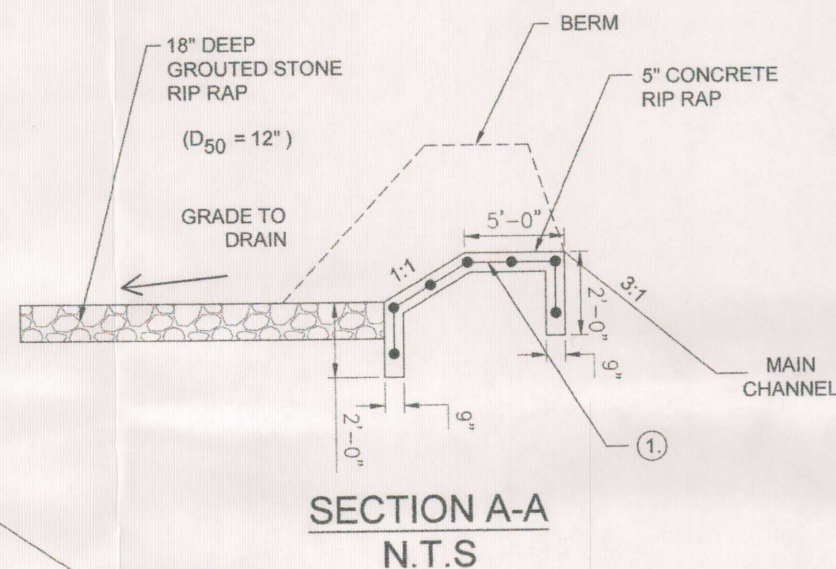
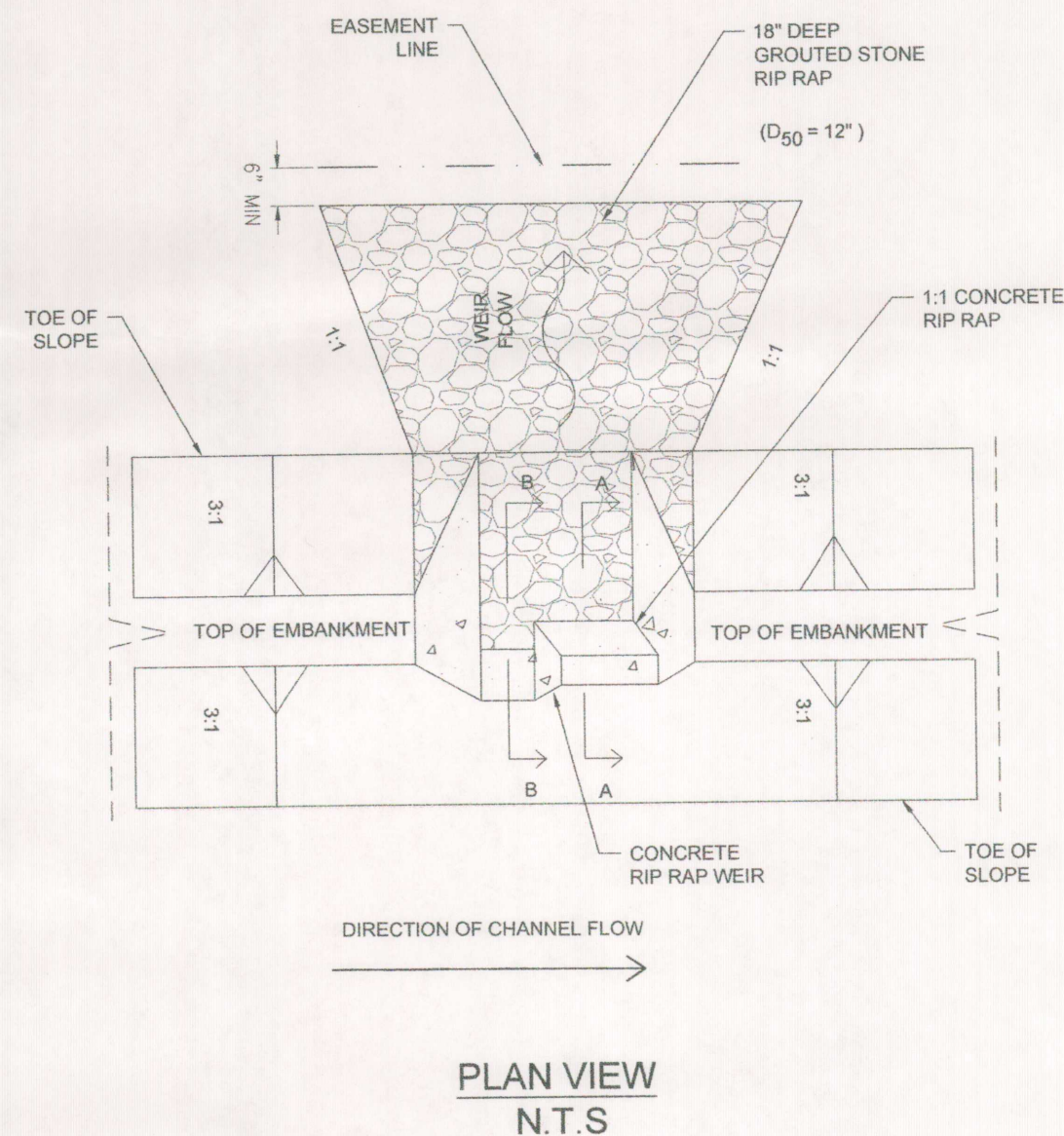
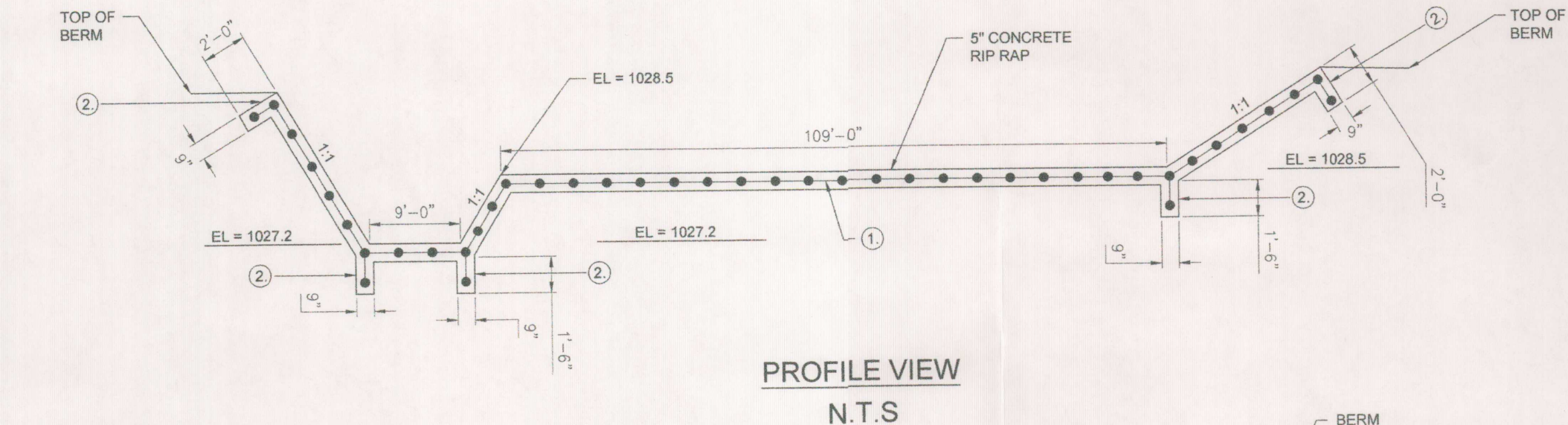
SAN ANTONIO

NOTE:  
SEE SHEETS 12-14 FOR  
CROSS-SECTION LOCATIONS

NOTE:  
THESE PLANS AND SPECIFICATIONS INCLUDE PROPRIETARY  
INFORMATION. REPRODUCTION OF THESE PLANS AND  
SPECIFICATIONS IS NOT AUTHORIZED WITHOUT THE WRITTEN  
CONSENT OF BOWMAN CONSULTING GROUP, LTD.

BEFORE DIGGING CALL "TEXAS EXCAVATION SAFETY  
SYSTEM" AT 811





#### STANDARD NOTES:

1. PROVIDE CLASS "C" CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI.
2. PROVIDE GRADE 60 REINFORCING STEEL.
3. USE REINFORCING BARS, DEFORMED WELDED WIRE REINFORCING (WWR) OR ANY SUITABLE COMBINATION OF BOTH TYPES FOR CONCRETE RIP RAP REINFORCING.
4. EXPANSION AND CONSTRUCTION SEALANT SHALL BE CLASS 8 SELF LEVELING, LOW MODULUS SILICONE OR POLYURETHANE FOR PORTLAND CEMENT.

1. PROVIDE #3 REINFORCING BARS AT 12" SPACING C-C, #4 REINFORCING BARS AT 18" SPACING C-C, OR WELDED WIRE REINFORCEMENT (WWR) AS 4X4-D4.0 X D4.0. COMBINATION OF WWR AND REINFORCING BARS MAY BE USED. USE LAP SPLICES OF MINIMUM 12 INCHES.
2. PROVIDE WWR, #3 OR #4 BARS WITH 1'-0" MINIMUM EXTENSION IN TO TOE.

RECEIVED  
TCEQ-R13 (EAPP)  
APR 25 2016  
SAN ANTONIO

NOTE:  
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BEFORE DIGGING CALL "TEXAS EXCAVATION SAFETY SYSTEM" AT 811

**Bowman**  
CONSULTING

Bowman Consulting Group, Ltd.  
1120 S. Capital of Texas Hwy.  
Bldg. 3, Ste. 220  
Austin, Texas 78746  
Phone: (512) 327-1180  
Fax: (512) 327-0052  
www.bowmanconsulting.com  
© Bowman Consulting Group, Ltd.

CONSTRUCTION DETAILS  
JOHNSON RANCH  
BERM DESIGN

BULVERDE



DATE	DESCRIPTION
RSD	JH TB
DESIGN	DRAWN CHKD
SCALE	H: N/A V: N/A
JOB No.	005522-04-003
DATE :	03/10/2016
FILE No.	5522-04-003-CD
SHEET	17 OF 17



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# MCGINNIS LOCHRIDGE

---

Suzanne McCalla  
smccalla@mcginnislaw.com  
(512) 495-6139 o  
(512) 505-6320 f

April 4, 2016

VIA FEDERAL EXPRESS

Brian Baize  
Chicago Tilte  
270 N. Loop 1604 East, Suite 100  
San Antonio, Texas 78232

Re: Johnson Ranch Municipal Utility District

Dear Brian:

Enclosed please find two (2) Agent Authorization Forms for the District's application to the TCEQ for the District's drainage project. After execution and notarization of the forms, please return both forms to Tracy Bratton, P.E., in the enclosed, self-addressed Federal Express envelope.

If you have any questions or concerns, please do not hesitate to contact me at 512-495-6139. Thanks so much Brian for all your help!

Sincerely,



Suzanne McCalla  
Paralegal

CSM/csm

**Agent Authorization Form**  
For Required Signature  
Edwards Aquifer Protection Program  
Relating to 30 TAC Chapter 213  
Effective June 1, 1999

I Brian Baize \_\_\_\_\_  
Print Name

\_\_\_\_\_  
President  
Title - Owner/President/Other

of Johnson Ranch Municipal Utility District \_\_\_\_\_  
Corporation/Partnership/Entity Name

have authorized Tracy Bratton, P.E. \_\_\_\_\_  
Print Name of Agent/Engineer

of Bowman Consulting Group, Ltd \_\_\_\_\_  
Print Name of Firm

to represent and act on the behalf of the above named Corporation, Partnership, or Entity for the purpose of preparing and submitting this plan application to the Texas Commission on Environmental Quality (TCEQ) for the review and approval consideration of regulated activities.

I also understand that:

1. The applicant is responsible for compliance with 30 Texas Administrative Code Chapter 213 and any condition of the TCEQ's approval letter. The TCEQ is authorized to assess administrative penalties of up to \$10,000 per day per violation.
2. For those submitting an application who are not the property owner, but who have the right to control and possess the property, additional authorization is required from the owner.
3. Application fees are due and payable at the time the application is submitted. The application fee must be sent to the TCEQ cashier or to the appropriate regional office. The application will not be considered until the correct fee is received by the commission.
4. A notarized copy of the Agent Authorization Form must be provided for the person preparing the application, and this form must accompany the completed application.
5. No person shall commence any regulated activity on the Edwards Aquifer Recharge Zone, Contributing Zone or Transition Zone until the appropriate application for the activity has been filed with and approved by the Executive Director.



SIGNATURE PAGE:

[Signature]  
Applicant's Signature

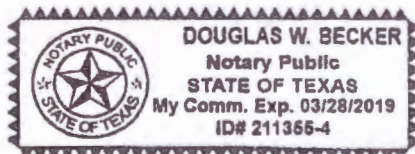
4-5-16  
Date

THE STATE OF TEXAS §

County of BEXAR §

BEFORE ME, the undersigned authority, on this day personally appeared BRIAN BAIZE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed same for the purpose and consideration therein expressed.

GIVEN under my hand and seal of office on this 5<sup>th</sup> day of April, 2016.



[Signature]  
NOTARY PUBLIC  
DOUGLAS W. BECKER  
Typed or Printed Name of Notary

MY COMMISSION EXPIRES: \_\_\_\_\_

**APPLICATION FEE FORM**

**(TCEQ-0574)**



# Application Fee Form

## Texas Commission on Environmental Quality

Name of Proposed Regulated Entity: Johnson Ranch Municipal Utility District

Regulated Entity Location: In Bulverde, located in Comal County, off FM 1863 just east of US 281.

Name of Customer: Johnson Ranch Municipal Utility District

Contact Person: Brian Baize

Phone: 210-482-3505

Customer Reference Number (if issued): CN \_\_\_\_\_

Regulated Entity Reference Number (if issued): RN 105332522

**Austin Regional Office (3373)**

☐ Hays

☐ Travis

☐ Williamson

**San Antonio Regional Office (3362)**

☐ Bexar

☐ Medina

☐ Uvalde

☒ Comal

☐ Kinney

Application fees must be paid by check, certified check, or money order, payable to the **Texas Commission on Environmental Quality**. Your canceled check will serve as your receipt. **This form must be submitted with your fee payment.** This payment is being submitted to:

☐ Austin Regional Office

☒ San Antonio Regional Office

☐ Mailed to: TCEQ - Cashier

☐ Overnight Delivery to: TCEQ - Cashier

Revenues Section

Mail Code 214

P.O. Box 13088

Austin, TX 78711-3088

12100 Park 35 Circle

Building A, 3rd Floor

Austin, TX 78753

(512)239-0357

**Site Location (Check All That Apply):**

☒ Recharge Zone

☐ Contributing Zone

☐ Transition Zone

Type of Plan	Size	Fee Due
Water Pollution Abatement Plan, Contributing Zone Plan: One Single Family Residential Dwelling	Acres	\$
Water Pollution Abatement Plan, Contributing Zone Plan: Multiple Single Family Residential and Parks	Acres	\$ 1,500.00
Water Pollution Abatement Plan, Contributing Zone Plan: Non-residential	Acres	\$
Sewage Collection System	L.F.	\$
Lift Stations without sewer lines	Acres	\$
Underground or Aboveground Storage Tank Facility	Tanks	\$
Piping System(s)(only)	Each	\$
Exception	Each	\$
Extension of Time	Each	\$

Signature: \_\_\_\_\_

Date: 4-19-16

## Application Fee Schedule

Texas Commission on Environmental Quality

Edwards Aquifer Protection Program 30 TAC Chapter 213 (effective 05/01/2008)

### **Water Pollution Abatement Plans and Modifications**

#### **Contributing Zone Plans and Modifications**

<i>Project</i>	<i>Project Area in Acres</i>	<i>Fee</i>
One Single Family Residential Dwelling	< 5	\$650
Multiple Single Family Residential and Parks	< 5	\$1,500
	5 < 10	\$3,000
	10 < 40	\$4,000
	40 < 100	\$6,500
	100 < 500	\$8,000
	≥ 500	\$10,000
Non-residential (Commercial, industrial, institutional, multi-family residential, schools, and other sites where regulated activities will occur)	< 1	\$3,000
	1 < 5	\$4,000
	5 < 10	\$5,000
	10 < 40	\$6,500
	40 < 100	\$8,000
	≥ 100	\$10,000

#### **Organized Sewage Collection Systems and Modifications**

<i>Project</i>	<i>Cost per Linear Foot</i>	<i>Minimum Fee- Maximum Fee</i>
Sewage Collection Systems	\$0.50	\$650 - \$6,500

#### **Underground and Aboveground Storage Tank System Facility Plans and Modifications**

<i>Project</i>	<i>Cost per Tank or Piping System</i>	<i>Minimum Fee- Maximum Fee</i>
Underground and Aboveground Storage Tank Facility	\$650	\$650 - \$6,500

#### **Exception Requests**

<i>Project</i>	<i>Fee</i>
Exception Request	\$500

#### **Extension of Time Requests**

<i>Project</i>	<i>Fee</i>
Extension of Time Request	\$150



**CHECK PAYABLE TO THE "TEXAS COMMISSION ON  
ENVIRONMENTAL QUALITY"**

Check in the amount of \$1,500.00 was mailed separately to TCEQ San Antonio office on April 11, 2016.



**CORE DATA FORM**  
**(TCEQ-10400)**



# TCEQ Core Data Form

TCEQ Use Only

For detailed instructions regarding completion of this form, please read the Core Data Form Instructions or call 512-239-5175.

## SECTION I: General Information

1. Reason for Submission (If other is checked please describe in space provided.)		
<input checked="" type="checkbox"/> New Permit, Registration or Authorization (Core Data Form should be submitted with the program application.)		
<input type="checkbox"/> Renewal (Core Data Form should be submitted with the renewal form)		<input type="checkbox"/> Other
2. Customer Reference Number (if issued)	Follow this link to search for CN or RN numbers in <a href="#">Central Registry**</a>	3. Regulated Entity Reference Number (if issued)
CN		RN 105332522

## SECTION II: Customer Information

4. General Customer Information		5. Effective Date for Customer Information Updates (mm/dd/yyyy)	
<input type="checkbox"/> New Customer		<input checked="" type="checkbox"/> Update to Customer Information	
<input type="checkbox"/> Change in Legal Name (Verifiable with the Texas Secretary of State or Texas Comptroller of Public Accounts)		<input type="checkbox"/> Change in Regulated Entity Ownership	
<b>The Customer Name submitted here may be updated automatically based on what is current and active with the Texas Secretary of State (SOS) or Texas Comptroller of Public Accounts (CPA).</b>			
6. Customer Legal Name (If an individual, print last name first: e.g.: Doe, John)		If new Customer, enter previous Customer below:	
Johnson Ranch Municipal Utility District			
7. TX SOS/CPA Filing Number	8. TX State Tax ID (11 digits)	9. Federal Tax ID (9 digits)	10. DUNS Number (if applicable)
Not listed		465588963	
11. Type of Customer:		Partnership: <input type="checkbox"/> General <input type="checkbox"/> Limited	
<input type="checkbox"/> Corporation		<input type="checkbox"/> Individual	
Government: <input type="checkbox"/> City <input type="checkbox"/> County <input type="checkbox"/> Federal <input type="checkbox"/> State <input checked="" type="checkbox"/> Other		<input type="checkbox"/> Sole Proprietorship	
12. Number of Employees		13. Independently Owned and Operated?	
<input checked="" type="checkbox"/> 0-20 <input type="checkbox"/> 21-100 <input type="checkbox"/> 101-250 <input type="checkbox"/> 251-500 <input type="checkbox"/> 501 and higher		<input type="checkbox"/> Yes <input type="checkbox"/> No	
14. Customer Role (Proposed or Actual) - as it relates to the Regulated Entity listed on this form. Please check one of the following:			
<input type="checkbox"/> Owner <input type="checkbox"/> Operator <input checked="" type="checkbox"/> Owner & Operator			
<input type="checkbox"/> Occupational Licensee <input checked="" type="checkbox"/> Responsible Party <input type="checkbox"/> Voluntary Cleanup Applicant <input type="checkbox"/> Other:			
15. Mailing Address:			
Brian Baize			
270 N. Loop 1604 E., Suite 100,			
City	San Antonio	State	TX
ZIP	78232	ZIP + 4	
16. Country Mailing Information (if outside USA)		17. E-Mail Address (if applicable)	
		Brian.baize@ctt.com	
18. Telephone Number		20. Fax Number (if applicable)	
( 210 ) 482 - 3505		( ) -	

## SECTION III: Regulated Entity Information

21. General Regulated Entity Information (If 'New Regulated Entity' is selected below this form should be accompanied by a permit application)	
<input type="checkbox"/> New Regulated Entity <input type="checkbox"/> Update to Regulated Entity Name <input checked="" type="checkbox"/> Update to Regulated Entity Information	
<b>The Regulated Entity Name submitted may be updated in order to meet TCEQ Agency Data Standards (removal of organizational endings such as Inc, LP, or LLC).</b>	
22. Regulated Entity Name (Enter name of the site where the regulated action is taking place.)	
Johnson Ranch Stormwater Project	



23. Street Address of the Regulated Entity: (No PO Boxes)							
	City		State		ZIP		ZIP + 4
24. County	Comal						

Enter Physical Location Description if no street address is provided.

25. Description to Physical Location:	FM 1863, approximately 1.2 miles east of US Highway 281						
26. Nearest City	Bulverde				State	TX	
					Nearest ZIP Code	78163	
27. Latitude (N) In Decimal:	29.752222		28. Longitude (W) In Decimal:	98.416944			
Degrees	Minutes	Seconds	Degrees	Minutes	Seconds		
29	45	08	98	25	01		
29. Primary SIC Code (4 digits)	1629		30. Secondary SIC Code (4 digits)			31. Primary NAICS Code (5 or 6 digits)	32. Secondary NAICS Code (5 or 6 digits)
						239910	
33. What is the Primary Business of this entity? (Do not repeat the SIC or NAICS description.)							
Municipal Utility District							
34. Mailing Address:	Brian Baize						
	270 N. Loop 1604 East, Suite 100						
	City	San Antonio	State	TX	ZIP	78232	ZIP + 4
35. E-Mail Address:		brian.baize@ctt.com					
36. Telephone Number		37. Extension or Code		38. Fax Number (if applicable)			
( 210 ) 482 - 3505				( ) -			

39. TCEQ Programs and ID Numbers Check all Programs and write in the permits/registration numbers that will be affected by the updates submitted on this form. See the Core Data Form instructions for additional guidance.

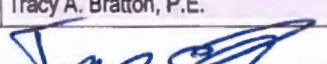
<input type="checkbox"/> Dam Safety	<input type="checkbox"/> Districts	<input checked="" type="checkbox"/> Edwards Aquifer	<input type="checkbox"/> Emissions Inventory Air	<input type="checkbox"/> Industrial Hazardous Waste
<input type="checkbox"/> Municipal Solid Waste	<input type="checkbox"/> New Source Review Air	<input type="checkbox"/> OSSF	<input type="checkbox"/> Petroleum Storage Tank	<input type="checkbox"/> PWS
<input type="checkbox"/> Sludge	<input type="checkbox"/> Storm Water	<input type="checkbox"/> Title V Air	<input type="checkbox"/> Tires	<input type="checkbox"/> Used Oil
<input type="checkbox"/> Voluntary Cleanup	<input type="checkbox"/> Waste Water	<input type="checkbox"/> Wastewater Agriculture	<input type="checkbox"/> Water Rights	<input type="checkbox"/> Other:

#### SECTION IV: Preparer Information

40. Name:	Tracy A. Bratton, P.E.			41. Title:	District Engineer
42. Telephone Number	43. Ext./Code	44. Fax Number	45. E-Mail Address		
( 512 ) 327 - 1180	8959	( ) -	tbratton@bowmanconsulting.com		

#### SECTION V: Authorized Signature

46. By my signature below, I certify, to the best of my knowledge, that the information provided in this form is true and complete, and that I have signature authority to submit this form on behalf of the entity specified in Section II, Field 6 and/or as required for the updates to the ID numbers identified in field 39.

Company:	Bowman Consulting	Job Title:	District Engineer
Name(In Print):	Tracy A. Bratton, P.E.	Phone:	( 512 ) 327 - 1180
Signature:		Date:	4-8-16