



COMAL COUNTY

ENGINEER'S OFFICE

License to Operate On-Site Sewage Treatment and Disposal Facility

Issued This Date: **12/11/2023** Permit Number: **116651**

Location Description: 1401 ESTRELLITA RANCH RD
CANYON LAKE, TX 78133

Subdivision: C.E. Border Survey No. 959 ABS 896
Unit: na
Lot: na
Block: na
Acreage: 50.0000

Type of System: Aerobic
Surface Irrigation

Issued to: 1401 Estrellita LLC

This license is authorization for the owner to operate and maintain a private facility at the location described in accordance to the rules and regulations for on-site sewerage facilities of Comal County, Texas, and the Texas Commission on Environmental Quality.

The license grants permission to operate the facility. It does not guarantee successful operation. It is the responsibility of the owner to maintain and operate the facility in a satisfactory manner.

Alterations to this permit including, but not limited to:

- Increase in the square feet of living area
- Increase in the number of bedrooms
- A change of use (i.e. residential to commercial)
- Relocation of system components (including the relocation of spray heads)
- Installation of landscaping
- Adding new structures to the system

may require a new permit. **It is the responsibility of the owner to apply for a new permit, if applicable.**


Inspection and licensing of a facility indicates only that the facility meets certain minimum requirements. It does not impede any governmental entity in taking the proper steps to prevent or control pollution, to abate nuisance, or to protect the public health.

This license to operate is valid for an indefinite period. The holder may transfer it to a succeeding owner, provided the facility has not been remodeled and is functioning properly.

Licensing Authority
Comal County Environmental Health


ENVIRONMENTAL HEALTH INSPECTOR

OS0032485


Assistant
OS0034792

ENVIRONMENTAL HEALTH COORDINATOR

Comal County Environmental Health

OSSF Inspection Sheet

Installer Name: _____

OSSF Installer #: _____

1st Inspection Date: _____

2nd Inspection Date: _____

3rd Inspection Date: _____

Inspector Name: _____

Inspector Name: _____

Inspector Name: _____

Permit#:

Address:

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
1	SITE AND SOIL CONDITIONS & SETBACK DISTANCES Site and Soil Conditions Consistent with Submitted Planning Materials		285.31(a) 285.30(b)(1)(A)(iv) 285.30(b)(1)(A)(v) 285.30(b)(1)(A)(iii) 285.30(b)(1)(A)(ii) 285.30(b)(1)(A)(i)				
2	SITE AND SOIL CONDITIONS & SETBACK DISTANCES Setback Distances Meet Minimum Standards		285.91(10) 285.30(b)(4) 285.31(d)				
3	SEWER PIPE Proper Type Pipe from Structure to Disposal System (Cast Iron, Ductile Iron, Sch. 40, SDR 26)		285.32(a)(1)				
4	SEWER PIPE Slope from the Sewer to the Tank at least 1/8 Inch Per Foot		285.32(a)(3)				
5	SEWER PIPE Two Way Sanitary - Type Cleanout Properly Installed (Add. C/O Every 100' &/or 90 degree bends)		285.32(a)(5)				
6	PRETREATMENT Installed (if required) TCEQ Approved List PRETREATMENT Septic Tank(s) Meet Minimum Requirements		285.32(b)(1)(G) 285.32(b)(1)(E)(iii) 285.32(b)(1)(E)(iv) 285.32(b)(1)(F) 285.32(b)(1)(B) 285.32(b)(1)(C)(i) 285.32(b)(1)(C)(ii) 285.32(b)(1)(D) 285.32(b)(1)(E) 285.32(b)(1)(A) 285.32(b)(1)(E)(ii)(II) 285.32(b)(1)(E)(i) 285.32(b)(1)(E)(ii)(I)				
7	PRETREATMENT Grease Interceptors if required for commercial		285.34(d)				

Inspector Notes:

**Comal County Environmental Health
OSSF Inspection Sheet**

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
8	SEPTIC TANK Tank(s) Clearly Marked SEPTIC TANK If Single Tank, 2 Compartments Provided with Baffle SEPTIC TANK Inlet Flowline Greater than 3" and " T " Provided on Inlet and Outlet SEPTIC TANK Septic Tank(s) Meet Minimum Requirements		285.32(b)(1) (E) 285.91(2) 285.32(b)(1) (F) 285.32(b)(1)(E) (iii) 285.32(b)(1)(E)(ii) (II) 285.32(b)(1)(E)(ii) (I) 285.32(b)(1)(E) (i) 285.32(b)(1) (D) 285.32(b)(1)(C) (ii) 285.32(b)(1)(C) (i) 285.32(b)(1) (B) 285.32(b)(1) (A) 285.32(b)(1)(E)(iv)				
9	ALL TANKS Installed on 4" Sand Cushion/ Proper Backfill Used		285.32(b)(1)(F) 285.32(b)(1)(G) 285.34(b)				
10	SEPTIC TANK Inspection / Clean Out Port & Risers Provided on Tanks Buried Greater than 12" Sealed and Capped		285.38(d)				
11	SEPTIC TANK Secondary restraint system provided SEPTIC TANK Riser permanently fastened to lid or cast into tank SEPTIC TANK Riser cap protected against unauthorized intrusions		285.38(d) 285.38(e)				
12	SEPTIC TANK Tank Volume Installed						
13	PUMP TANK Volume Installed						
14	AEROBIC TREATMENT UNIT Size Installed						
15	AEROBIC TREATMENT UNIT Manufacturer AEROBIC TREATMENT UNIT Model Number						
16	DISPOSAL SYSTEM Absorptive		285.33(a)(4) 285.33(a)(1) 285.33(a)(2) 285.33(a)(3)				
17	DISPOSAL SYSTEM Leaching Chamber		285.33(a)(1) 285.33(a)(3) 285.33(a)(4) 285.33(a)(2)				
18	DISPOSAL SYSTEM Evapo-transpirative		285.33(a)(3) 285.33(a)(4) 285.33(a)(1) 285.33(a)(2)				

**Comal County Environmental Health
OSSF Inspection Sheet**

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
19	DISPOSAL SYSTEM Drip Irrigation		285.33(c)(3)(A)-(F)				
20	DISPOSAL SYSTEM Soil Substitution		285.33(d)(4)				
21	DISPOSAL SYSTEM Pumped Effluent		285.33(a)(4) 285.33(a)(3) 285.33(a)(1) 285.33(a)(2)				
22	DISPOSAL SYSTEM Gravelless Pipe		285.33(a)(3) 285.33(a)(2) 285.33(a)(4) 285.33(a)(1)				
23	DISPOSAL SYSTEM Mound		285.33(a)(3) 285.33(a)(1) 285.33(a)(2) 285.33(a)(4)				
24	DISPOSAL SYSTEM Other (describe) (Approved Design)		285.33(d)(6) 285.33(c)(4)				
25	DRAINFIELD Absorptive Drainline 3" PVC or 4" PVC						
26	DRAINFIELD Area Installed						
27	DRAINFIELD Level to within 1 inch per 25 feet and within 3 inches over entire excavation		285.33(b)(1)(A)(v)				
28	DRAINFIELD Excavation Width DRAINFIELD Excavation Depth DRAINFIELD Excavation Separation DRAINFIELD Depth of Porous Media DRAINFIELD Type of Porous Media						
29	DRAINFIELD Pipe and Gravel - Geotextile Fabric in Place		285.33(b)(1)(E)				
30	DRAINFIELD Leaching Chambers DRAINFIELD Chambers - Open End Plates w/Splash Plate, Inspection Port & Closed End Plates in Place (per manufacturers spec.)		285.33(c)(2)				
31	LOW PRESSURE DISPOSAL SYSTEM Adequate Trench Length & Width, and Adequate Separation Distance between Trenches		285.33(d)(1)(C)(i)				

**Comal County Environmental Health
OSSF Inspection Sheet**

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
32	EFFLUENT DISPOSAL SYSTEM Utilized Only by Single Family Dwelling EFFLUENT DISPOSAL SYSTEM Topographic Slopes < 2.0% EFFLUENT DISPOSAL SYSTEM Adequate Length of Drain Field (1000 Linear ft. for 2 bedrooms or Less & an additional 400 ft. for each additional bedroom) EFFLUENT DISPOSAL SYSTEM Lateral Depth of 18 inches to 3 ft. & Vertical Separation of 1ft on bottom and 2 ft. to restrictive horizon and ground water respectfully EFFLUENT DISPOSAL SYSTEM Lateral Drain Pipe (1.25 - 1.5" dia.) & Pipe Holes (3/16 - 1/4" dia. Hole Size) 5 ft. Apart		285.33(b)(3)(A) 285.33(b)(3)(A) 285.33(b)(3)(B) 285.91(13) 285.33(b)(3)(D) 285.33(b)(3)(F)				
33	AEROBIC TREATMENT UNIT Is Aerobic Unit Installed According to Approved Guidelines.		285.32(c)(1)				
34	AEROBIC TREATMENT UNIT Inspection/Clean Out Port & Risers Provided AEROBIC TREATMENT UNIT Secondary restraint system provided AEROBIC TREATMENT UNIT Riser permanently fastened to lid or cast into tank AEROBIC TREATMENT UNIT Riser cap protected against unauthorized intrusions						
35	AEROBIC TREATMENT UNIT Chlorinator Properly Installed with Chlorine Tablets in Place.						
36	PUMP TANK Is the Pump Tank an approved concrete tank or other acceptable materials & construction PUMP TANK Sampling Port Provided in the Treated Effluent Line PUMP TANK Check Valve and/or Anti- Siphon Device Present When Required PUMP TANK Audible and Visual High Water Alarm Installed on Separate Circuit From Pump						
37	PUMP TANK Inspection/Clean Out Port & Risers Provided PUMP TANK Secondary restraint system provided PUMP TANK Riser permanently fastened to lid or cast into tank PUMP TANK Riser cap protected against unauthorized intrusions						
38	PUMP TANK Secondary restraint system provided						
39	PUMP TANK Electrical Connections in Approved Junction Boxes / Wiring Buried						

**Comal County Environmental Health
OSSF Inspection Sheet**

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
40	APPLICATION AREA Distribution Pipe, Fitting, Sprinkler Heads & Valve Covers Color Coded Purple?		285.33(d)(2)(G)(iii)(II) 285.33(d)(2)(G)(iii)(III) 285.33(d)(2)(G)(v) 285.33(d)(2)(G)(iii) 285.33(d)(2)(G)(iv) 285.33(d)(2)(G)(i) 285.33(d)(2)(G)(ii) 285.33(d)(2)(G)(iii)(I)				
41	APPLICATION AREA Low Angle Nozzles Used / Pressure is as required APPLICATION AREA Acceptable Area, nothing within 10 ft of sprinkler heads? APPLICATION AREA The Landscape Plan is as Designed		285.33(d)(2)(G) (i)285.33(d)(2) (A)285.33(d)(2)(F)				
42	APPLICATION AREA Area Installed						
43	PUMP TANK Meets Minimum Reserve Capacity Requirements						
44	PUMP TANK Material Type & Manufacturer						
45	PUMP TANK Type/Size of Pump Installed						



COMAL COUNTY

ENGINEER'S OFFICE

Permit of Authorization to Construct an On-Site Sewage Facility Permit Valid For One Year From Date Issued

Permit Number: 116651
Issued This Date: 10/02/2023
This permit is hereby given to: 1401 Estrellita LLC

To start construction of a private, on-site sewage facility located at:

1401 ESTRELLITA RANCH RD
CANYON LAKE, TX 78133

Subdivision: C.E. Border Survey No. 959 ABS 896
Unit: na
Lot: na
Block: na
Acreage: 50.0000

APPROVED MINIMUM SIZES AS PER ATTACHED DESIGN

Type of System: Aerobic
Surface Irrigation

This permit gives permission for the construction of the above referenced on-site facility to commence. Installation must be completed by an installer holding a valid registration card from the Texas Commission on Environmental Quality (TCEQ). Installation and inspection must comply with current TCEQ and Comal County requirements.

Call (830) 608-2090 to schedule inspections.



COMAL COUNTY
ENGINEER'S OFFICE

ON-SITE SEWAGE FACILITY APPLICATION

195 DAVID JONAS DR
NEW BRAUNFELS, TX 78132
(830) 608-2090
WWW.CCEO.ORG

Date 6/26/23

Permit Number 116651

1. APPLICANT / AGENT INFORMATION

Owner Name 1401 Estrellita LLC
Mailing Address 2028 E Ben White Blvd #240-3380
City, State, Zip Austin TX 78741
Phone # 5125743669
Email tim@5stones.cc

Agent Name Timothy Norris
Agent Address 2028 E Ben White Blvd #240-3380
City, State, Zip Austin TX 78741
Phone # 5125743669
Email tim@5stones.cc

2. LOCATION

Subdivision Name _____ Unit _____ Lot _____ Block _____
Survey Name / Abstract Number C.E. Border Survey No. 959 ABS 896 Acreage 50.00
Address 1401 Estrellita Ranch Road City Canyon Lake State TX Zip 78133

3. TYPE OF DEVELOPMENT

☒ Single Family Residential

Type of Construction (House, Mobile, RV, Etc.) _____

Number of Bedrooms 5 1-bedroom Casita 1000 sq. ft.

Indicate Sq Ft of Living Area 4499

☐ Non-Single Family Residential

(Planning materials must show adequate land area for doubling the required land needed for treatment units and disposal area)

Type of Facility _____

Offices, Factories, Churches, Schools, Parks, Etc. - Indicate Number Of Occupants _____

Restaurants, Lounges, Theaters - Indicate Number of Seats _____

Hotel, Motel, Hospital, Nursing Home - Indicate Number of Beds _____

Travel Trailer/RV Parks - Indicate Number of Spaces _____

Miscellaneous _____

Estimated Cost of Construction: \$ 600,000.00 (Structure Only)

Is any portion of the proposed OSSF located in the United States Army Corps of Engineers (USACE) flowage easement?

☐ Yes ☒ No (If yes, owner must provide approval from USACE for proposed OSSF improvements within the USACE flowage easement)

Source of Water ☐ Public ☒ Private Well

4. SIGNATURE OF OWNER

By signing this application, I certify that:

- The completed application and all additional information submitted does not contain any false information and does not conceal any material facts. I certify that I am the property owner or I possess the appropriate land rights necessary to make the permitted improvements on said property.
- Authorization is hereby given to the permitting authority and designated agents to enter upon the above described property for the purpose of site/soil evaluation and inspection of private sewage facilities..
- I understand that a permit of authorization to construct will not be issued until the Floodplain Administrator has performed the reviews required by the Comal County Flood Damage Prevention Order.
- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

[Signature]
Signature of Owner

6/26/23
Date



ON-SITE SEWAGE FACILITY APPLICATION

Planning Materials & Site Evaluation as Required Completed By Stephen Jetton

System Description Nuwater Aerobic Surface Spray

Size of Septic System Required Based on Planning Materials & Soil Evaluation

Tank Size(s) (Gallons) 639-Trash 1000ATU 1500 Pump Absorption/Application Area (Sq Ft) 7922.22

Gallons Per Day (As Per TCEQ Table III) 460

(Sites generating more than 5000 gallons per day are required to obtain a permit through TCEQ.)

Is the property located over the Edwards Recharge Zone? ☒ Yes ☐ No

(If yes, the planning materials must be completed by a Registered Sanitarian (R.S.) or Professional Engineer (P.E.))

Is there an existing TCEQ approved WPAP for the property? ☐ Yes ☒ No

(If yes, the R.S. or P.E. shall certify that the OSSF design complies with all provisions of the existing WPAP.)

If there is no existing WPAP, does the proposed development activity require a TCEQ approved WPAP? ☐ Yes ☒ No

(If yes, the R.S. or P.E. shall certify that the OSSF design will comply with all provisions of the proposed WPAP. A Permit to Construct will not be issued for the proposed OSSF until the proposed WPAP has been approved by the appropriate regional office.)

Is the property located over the Edwards Contributing Zone? ☐ Yes ☒ No

Is there an existing TCEQ approval CZP for the property? ☐ Yes ☒ No

(If yes, the P.E. or R.S. shall certify that the OSSF design complies with all provisions of the existing CZP.)

If there is no existing CZP, does the proposed development activity require a TCEQ approved CZP? ☐ Yes ☒ No

(If yes, the R.S. or P.E. shall certify that the OSSF design will comply with all provisions of the proposed CZP. A Permit to Construct will not be issued for the proposed OSSF until the CZP has been approved by the appropriate regional office.)

Is this property within an incorporated city? ☐ Yes ☒ No

If yes, indicate the city: _____

By signing this application, I certify that:

- The information provided above is true and correct to the best of my knowledge.
- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

Signature of Designer

Date

8-30-23

RECEIVED

By Brenda Ritzen at 9:40 am, Oct 02, 2023

The property at 1401 Estrellita Ranch Road, Canyon Lake, TX 78133 where new septic work is to be performed is a single dwelling home. Utilities will be used for residents of the home only.

Signed: *Timothy Norris*

Timothy R. Norris

Owner/Manager 1401 Estrellita LLC

9/25/23



RECEIVED

By Brenda Ritzen at 9:40 am, Oct 02, 2023

JURAT ATTACHMENT

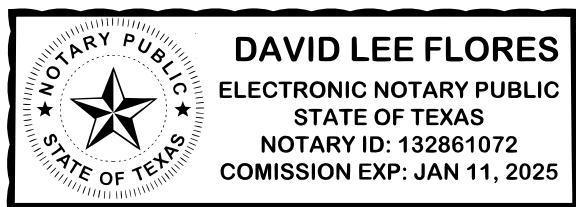
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF Texas }

COUNTY OF Hidalgo }

The foregoing instrument was subscribed and sworn before me this date of
09/25/2023, by Timothy Norris

This notarial act was an online notarization.



(Notary Seal)

Notary's Signature David Lee Flores

Registration No.: 132861072

Commission Expiration Date: January 11, 2025





202306027586 08/28/2023 02:33:32 PM 1/2

AFFIDAVIT TO THE PUBLIC

THE COUNTY OF COMAL
STATE OF TEXAS

CERTIFICATION OF OSSF REQUIRING MAINTENANCE

According to Texas Commission on Environmental Quality Rules for On-Site Sewage Facilities (OSSF's), this document is filed in the Deed Records of Comal County, Texas.

I

The Texas Health and Safety Code, Chapter 366 authorizes the Texas Commission on Environmental Quality (commission) to regulate on-site sewage facilities (OSSFs). Additionally, the Texas Water Code (TWC), § 5.012 and § 5.013, gives the commission primary responsibility for implementing the laws of the State of Texas relating to water and adopting rules necessary to carry out its powers and duties under the TWC. The commission, under the authority of the TWC and the Texas Health and Safety code, requires owner's to provide notice to the public that certain types of OSSFs are located on specific pieces of property. To achieve this notice, the commission requires a recorded affidavit. Additionally, the owner must provide proof of the recording to the OSSF permitting authority. This recorded affidavit is not a representation or warranty by the commission of the suitability of this OSSF, nor does it constitute any guarantee by the commission that the appropriate OSSF was installed.

II

An OSSF requiring a maintenance contract, according to 30 Texas Administrative Code §285.91(12) will be installed on the property described as (Insert legal description):

Legal Description Attached Comal County
Deed # 200306027586
A-896 SUR-959 CE BORDER
50.00- ACRES

The property is owned by (Insert owner's full name): 1401 Estrellita, LLC
Timothy R. Norris Managing Member

This OSSF must be covered by a continuous maintenance contract for the first two years. After the initial two-year service policy, the owner of an aerobic treatment system for a single family residence shall either obtain a maintenance contract within 30 days or maintain the system personally.

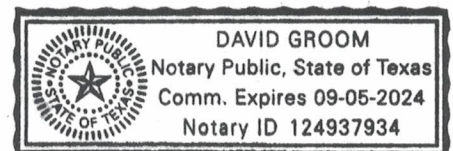
Upon sale or transfer of the above-described property, the permit for the OSSF shall be transferred to the buyer or new owner. A copy of the planning materials for the OSSF can be obtained from the Comal County Engineer's Office.

WITNESS BY HAND(S) ON THIS 7th DAY OF JULY, 2022

[Signature]
Timothy R. Norris
Owner(s) signature(s)

SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 7 DAY OF

July, 2022
[Signature]
Notary Public, State of Texas





This page has been added to comply with the statutory requirement that the clerk shall stamp the recording information at the bottom of the last page.

This page becomes part of the document identified by the file clerk number affixed on preceding pages.

Filed and Recorded
Official Public Records
Bobbie Koepp, County Clerk
Comal County, Texas
08/28/2023 02:33:32 PM
CHRISTY 2 Page(s)
202306027586



Bobbie Koepp

Regulatory Authority**WASTEWATER TREATMENT FACILITY MONITORING AGREEMENT**

Block Creek Aerobic Services, LLC

444 A Old Hwy #9

Comfort, TX 78013

Off. (830) 995-3189

Fax. (830) 995-4051

Permit/License Number

Customer 1401 Estrellita LLC

Site Address 1401 Estrellita Ranch Road

City Canyon Lake Zip 78133

Mailing Address 2028 E. Ben White Blvd #240-3380

County Comal Map #

Phone 512-574-3669

Email tim@5stones.cc

I. General: This Work for Hire Agreement (hereinafter referred to as "Agreement") is entered into by and between _____ (hereinafter referred to as "Customer") and Block Creek Aerobic Service, LLC. By this agreement, Block Creek Aerobic Service, LLC and its employees (hereinafter inclusively referred to as "Contractor") agree to render services at the site address stated above, as described herein, and the Customer agrees to fulfill his/her responsibilities, as described herein.

II. Effective Dates: This Agreement commences on _____ and end on _____ for a total of two (2) years (initial agreement) or one (1) year (there after). If this is an initial agreement (new installation), the Customer will notify the Contractor within two (2) business days of the system's first use to establish the date of commencement. If no notification is received by Contractor within ninety (90) days after completion of installation or where county authority mandates, the date of commencement will be the date the "License to operate" (Notice of Approval) was issued by the permitting authority. This agreement may or may not commence at the same time as any warranty period of installed equipment, but in no case shall it extend the specified warranty.

III. Termination of Agreement: This Agreement may be terminated by either party with thirty (30) days written notice for any reason, including for example, substantial failure to perform in accordance with its terms, without fault or liability of the terminating party. If this Agreement is so terminated, Contractor will be paid at the rate of \$75.00 per hour for any work performed and for which compensation has not been received. After the deduction of all outstanding charges, any remaining monies from prepayment for services will be refunded to customer within thirty (30) days. Either party terminating this Agreement for any reason, including non-renewal, shall notify in writing the equipment manufacturer and the appropriate regulatory agency a minimum of thirty (30) days prior to the date of such termination. Nonpayment of any kind shall be considered breach of contract and a termination of contract.

IV. Services: Contractor will:

- a. Inspect and perform routine upkeep on the On-Site Sewage Facility (hereinafter referred to as OSSF) as recommended by the treatment system manufacturer, and required by state and/or local regulation, for a total of three visits to site per year.
- b. Provide a written record of visits to the site by means of an inspection tag attached to or contained in the control panel.
- c. Repair or replace, if Contractor has necessary materials at site, any component of the OSSF to be failing or inoperative during the course of a routine monitoring visit. If such services are not covered by warranty, and services costs are \$100.00, or less. Customer hereby authorizes Contractor to perform the service and bill Customer for said service. When service costs are greater than \$100.00, or if contractor does not have necessary supplies at the site. Contractor will notify Customer of required service(s) and associated cost(s). Customer must notify Contractor of arrangements to affect repair of system with two (2) business days after said notification.
- d. Provide sample collection and laboratory testing of TSS and BOD on a yearly basis (commercial systems only).
- e. Forward copies of this Agreement and all reports to the regulatory agency and the Customer.
- f. Visit site in response to Customer's request for unscheduled services within forty-eight (48) hours of the date of notification (weekends and holidays excluded) of said request. Unless otherwise covered by warranty, costs for such unscheduled responses will be billed to Customer.

V. Disinfection: _____ Not required XX required. The responsibility to maintain the disinfection device(s) and provide any necessary chemicals is that of the Customer. _____ (Initial)

V. Electronic Monitoring is not included in this Agreement.

VI. Performance of Agreement: Commencement of performance by Contractor under this Agreement is contingent on the following conditions:

a. If this is an initial Agreement (new installation):

i. Contractor's receipt of a fully executed original copy or facsimile of this agreement and all documentation requested by Contractor.

ii. Contractor's receipt of payment of the wastewater-monitoring fee in accordance with the terms as described in Section XIV of this Agreement.

b. If this is not an initial Agreement (existing system):

i. Contractor's receipt of a fully executed original copy or facsimile of this agreement and all documentation requested by Contractor.

ii. Contractor's receipt of payment of the wastewater-monitoring fee in accordance with the terms as described in Section XIV of this Agreement.

c. If the above conditions are not met, Contractor is not obligated to perform any portion of this Agreement.

VII. Customer's Responsibilities: The customer is responsible for each and all of the following:

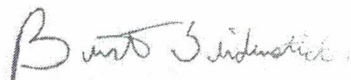
- a. Provide all necessary yard or lawn maintenance and removal of all obstacles, including but not limited to dogs and other animals, vehicles, trees, brush, trash, or debris, as needed to allow the OSSF to function properly, and to allow Contractor safe and easy access to all parts of the OSSF.
 - b. Protect equipment from physical damage including but not limited to that damage caused by insects.
 - c. Maintain a current license to operate, and abide by the conditions and limitation of that license, and all requirements for and OSSF from the State and/or local regulatory agency, whichever are more stringent, as well as proprietary system's manufacturer recommendations.
 - d. Notify Contractor immediately of any and all alarms, and/or any and all problems with, including failure of, the OSSF.
 - e. Provide, upon request by Contractor, water usage records for evaluation by Contractor as to the performance of the OSSF.
 - f. Allow for samples at both the inlet and outlet of the OSSF to be obtained by Contractor for the purpose of evaluation the OSSF's performance. If these samples are taken to a laboratory for testing, with the exception of the service provided under Section V. sub-section d. above. Customer agrees to pay contractor for sample collection and transportation, portal to portal, at a rate of \$35.00 per hour, plus the associated fees for laboratory testing.
 - g. Prevent the backwash or flushing of water treatment or conditioning equipment from entering the OSSF.
 - h. Prevent the condensation from air conditioning or refrigeration units, or the drains of icemakers, from hydraulically overloading the aerobic treatment units. Drain lines may discharge into the surface application pump tank if approved by system designer.
 - i. Provide for pumping and cleaning of tanks and treatment units, when and as recommended by Contractor, at Customer's expense.
 - j. Maintain site drainage to prevent adverse effects on the OSSF.
 - k. Pay promptly and fully, all Contractor's fees, bills, or invoices as described herein.
- X. Access by Contractor: Contractor is hereby granted an easement to the OSSF for the purpose of performing services described herein. Contractor may enter the property during Contractor's normal business hours and/or other reasonable hours without prior notice to Customer to perform the Services and/or repairs described herein. Contractor shall have access to the OSSF electrical and physical components. Tanks and treatment units shall be accessible by means of man ways, or risers and removable covers, for the purpose of evaluation as required by State and/or local rules and the proprietary system manufacturer. Initial _____. It is customers responsibility to keep lids exposed and accessible at all times
- VIII. Limit of Liability: Contractor shall not be held liable for any incidental, consequential, or special damages, or for economic loss sue to expense, or for loss of profits or income, or loss of use to Customer, whether in contract tort or any other theory. In no event shall Contractor be liable in an amount exceeding the total Fee for Services amount paid by Customer under this Agreement.
- IX. Severability: If any provision of the "Proposal and Contract" shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of the "Agreement" is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.
- X. Fee for Services: The fee does not include any equipment, material, or labor necessary for non-warranty repairs or for unscheduled inspections. Customer requested visits to the site.
- XI. Payment: Full amount due upon signature (Required of new Customer). Payment of invoice(s) for any other service or repair provided by contractor in due upon receipt of invoice. Invoices are mailed on the date of invoice. All payments not received within thirty (30) days form the invoice date will be subject to a \$29.00 late penalty and a 1.5% per month carrying charge, as well as any reasonable attorney's fees, and all collection and court costs incurred by Contractor in collection of unpaid debt(s). Contractor may terminate contract at any time for nonpayment for services. Any check returned to Contractor for any reason will be assessed a \$30.00 return check fee.
- XII. Application or Transfer of payment: The fees paid for this agreement may transfer to the subsequent property owner(s); however this Agreements not transferable. Customer will advise subsequent property owner(s) of the state requirement that they sign a replacement agreement authorizing Contractor to perform the herein described Services, and accepting Customer's Responsibilities. This replacement Agreement must be signed and received in Contractor's offices within ten (10) business days of date of transfer of property ownership. Contractor will apply all funds received from Customer first to any past due obligation arising from this Agreement including late fees or penalties, return check fees, and/or charges for services or repairs not paid within thirty (30) days of invoice date.
- Any remaining monies shall be applied to the funding of the replacement Agreement. The consumption of funds in this manner may cause a reduction in the termination date of effective coverage per this Agreement. See Section IV.
- XIII. Entire Agreement: This agreement contains the entire Agreement of the parties, and there are no other conditions in any other agreement, oral or written.

 6-26-23

Block Creek Aerobic Service MC# 0000042 MC#0000002

Customer Signature

Date



OSSF SOIL EVALUATION FORM

Owner's Name: 1401 Estrellita LLC

Physical Address: 1401 Estrellita Ranch Road.

Legal Description: C.E. Border Survey No. 959 ABS 896 – 50.00-acres

Date Performed: 6-14-23

Proposed Excavation Depth: 6"

Requirements:

- At least two soil evaluations must be performed on the site, at opposite ends of the proposed disposal area. Locations of soil evaluations must be shown on the application site drawing or designer's site drawing.
- For subsurface disposal, soil evaluations must be performed to a depth of at least 2-ft. below the proposed excavation depth. For surface disposal, the surface horizon must be evaluated.
- Please describe each soil horizon and identify any Restrictive features in the space provided below. Draw lines at the appropriate depths.

•

Soil Boring Number: 1

Depth (ft.)	Textural Class	Structure (For class III – blocky, platy or Massive)	Drainage (Mottles, Water Table)	Restrictive Horizon	Observations
0 1 2 3 4 5 0-6"	III	< 30 % gravel	No signs of Mottling	6"	Class III. No shallow groundwater noted. Not suitable for standard disposal. Aerobic surface irrigation recommended.

Soil Boring Number: 2

Depth (ft.)	Textural Class	Structure (For class III – blocky, platy or Massive)	Drainage (Mottles, Water Table)	Restrictive Horizon	Observations
0 1 2 3 4 5 0-6"	III	< 30 % gravel	No signs of Mottling	6"	Class III. No shallow groundwater noted. Not suitable for standard disposal. Aerobic surface irrigation recommended.

Features of Site Area

Presence of 100-year flood zone

Presence of adjacent ponds, streams, water impoundment's

Existing or proposed water well in nearby area

Organized sewage available to lot or tract

Recharge features within 150 feet

No

No

Yes

No

No



I certify that the above statements are true and are based on my own field observations.

Signature of Site evaluator

S. Jetton

6-14-23

OSSF SOIL EVALUATION FORM

Owner's Name: 1401 Estrellita LLC

Physical Address: 1401 Estrellita Ranch Road.

Legal Description: C.E. Border Survey No. 959 ABS 896 – 50.00-acres

Date Performed: 6-14-23

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-

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0 1 2 3 4 5 0-6"	III	< 30 % gravel	No signs of Mottling	6"	Class III. No shallow groundwater noted. Not suitable for standard disposal. Aerobic surface irrigation recommended.

Soil Boring Number: 2

Depth (ft.)	Textural Class	Structure (For class III – blocky, platy or Massive)	Drainage (Mottles, Water Table)	Restrictive Horizon	Observations
0 1 2 3 4 5 0-6"	III	< 30 % gravel	No signs of Mottling	6"	Class III. No shallow groundwater noted. Not suitable for standard disposal. Aerobic surface irrigation recommended.

Features of Site Area

Presence of 100-year flood zone

Presence of adjacent ponds, streams, water impoundment's

Existing or proposed water well in nearby area

Organized sewage available to lot or tract

Recharge features within 150 feet

No

No

Yes

No

No



I certify that the above statements are true and are based on my own field observations.

Signature of Site evaluator

S. Jetton

6-14-23

REVISED

9:22 am, Oct 02, 2023

Southwest Septic Design


On-Site Sewage Facility Application and Design

Prepared For:

1401 Estrellita LLC
1401 Estrellita Ranch Road
Canyon Lake, Texas 78133

Design 8076023

Prepared By:

Stephen F. Jetton 
Registered Professional Sanitarian



Revision 9/29/2023

Stephen F. Jetton • Southwest Septic Design
2573 Deer Stand Loop • San Marcos, Texas 78666 • Mobile (512) 757-1259
E – Mail stephen.jetton@gmail.com

Southwest Septic Design

2573 Deer Stand Loop
San Marcos, Texas 78666
Hays County

Stephen.jetton@gmail.com
Mobile (512) 757-1259

Design Report On-Site Sewage facility Aerobic Wastewater Treatment System Utilizing Surface Spray Application

OWNER/SITE LOCATION:

1401 Estrellita LLC
1401 Estrellita Ranch Road
C.E. Border Survey No. 959 ABS 896 – 50.00-acres
Canyon Lake, Texas 78133

SITE DESCRIPTION & EVALUATION:

A site evaluation indicated that the site has suitable soil for an aerobic surface irrigation system. The lot has a slope of less than 15 percent in the spray area, and there was no evidence of shallow groundwater. An existing private water well services this property. A timer will be used, and all portions of the spray radius will maintain at least a 10 ft. separation from all property lines and 10' from all water lines. There are no recharge features within 150' of this proposed system. This property is not within the 100-year floodplain. Minimum separation distances as stated in §285 TCEQ, On-Site Sewage Facilities and Hays County setback requirements must be maintained.

WASTEWATER DESIGN FLOW:

This design is for a 5-bedroom < 4499 sq. ft., single-family residence (360 GPD) and a 1-bedroom, < 1000 sq. ft., casita (100 GPD). Both structures will utilize low-flow fixtures. The projected daily waste flow is **460 gallons per day**, as per Texas Commission of Environmental Quality (TCEQ) On Site Sewage Facilities 12-29-2016

AEROBIC TREATMENT SYSTEM DESCRIPTION:

This residence will utilize a Nuwater Aerobic Treatment Plant, Model B-1000. A 639-gallon pretreatment/trash tank will precede the 1000-gallon per day aerobic treatment tank. Effluent from the aeration tank will flow through a liquid chlorinator (EZ Tank Chlorinator) to a 1500-gallon pump tank. The pump tank serves as a chlorine contact chamber and a storage tank prior to the treated/chlorinated effluent being discharged to sprinkler heads. The disposal area will consist of **3– 29 ft. 360°** radius patterns. The system is considered a “package system,” and will be installed according to manufacturer’s instructions.

Abandon Regulations:

The installer will abandon the existing system according to §285.36 Abandoned Tanks, Boreholes, Cesspools, and Seepage Pits.

- (a) An abandoned tank is a tank that is not to be used again for holding sewage.
- (b) To properly abandon, the owner shall conduct the following actions, in the order listed.
 - (1) All tanks, boreholes, cesspools, seepage pits, holding tanks, and pump tanks shall have the wastewater removed by a waste transporter, holding a current registration with the executive director.

All tanks, boreholes, cesspools, seepage pits, holding tanks, and pump tanks shall be filled to ground level with fill material (less than three inches in diameter) which is free of organic and construction debris.

Design Specification:

Size of Residence	Living Area	< 4494 ft ²
Number of Bedrooms		5 + 1-bedroom Guest at < 1000 ft ²
Average Expected Flow		460 GPD
Application Rate	0.064 Gal./ft²/Day	0.064
Minimum Application Area	(GPD)/(0.064 Gal./ft²/Day)	7187.50 ft ²
Actual Application Area	3.14(r²) x number of heads	7922.22 ft ²

System Components:

Trash Tank	639 gallon one-compartment
Aeration Tank	1000 gallon per day
Pump Tank	1500 gallon

Pump Tank:

Pump Tank gallons per inch: 41.66" with 39" usable gallons

Operating Capacity: 12" x 41.66" = 499.92 operating gallons

Reserve Capacity: 43" usable depth (39 x 41.66 = 1624.74) 1624.74 – 833.20 = 791.54 reserve gallons

Pump off	7" Above tank floor	291.62 Gallons
Pump on	8" Above tank floor	333.28 Gallons
Alarm on	20" Above tank floor	833.20 Gallons

Combined capacity of pretreatment and aeration tank is 1639-gallons. A 1500-gallon, single-compartment pump tank allows for a one day's flow above the alarm-on level.

Pump and Sprinkler Head Requirements:

Pump: Ashland Pump CPM Series – 20+CPM5-115 20GPM ½ H.P.

Sprinkler Head: K Rain Pro Plus with Purple Tops. *Equipped with anti-siphon nozzles.*

Nozzle #: **3 LA** (Low angle trajectory, 11 degrees), operating at 30 psi, 29 ft. radius and 3.0 GPM flow per sprinkler.

Dosing:

Application Flow Rate 3.0 gpm/head x 3 heads = 9.0 *gpm*

Application Time: 2 doses @ 240 gal/dose / 9.0 gpm = ~ **27.0 min/dose**

Head Requirements:

Elevation head: 4 (*assumed elevation at top of pump 1042 and highest spray head at 1046*).

Pressure head: 30 psi x 2.31 ft/psi = 69.30 ft.

Friction head: 1" Sch. 40 PVC @ 9.0 gpm = 5.49 ft. $(201 \times 5.49/100 \times 1.2) = 13.24$

TDH = 4 ft. + 69.30 ft + 13.24 = 86.54 (within pump curve)

A commercial timer must be set to provide two doses a day, one at 1 a.m. and the other at 4 a.m. An unthreaded sampling valve must also be provided. Under the Texas Administrative Code, §285 On-Site Sewage Facilities, this system must be installed with a night timer, set to spray between the hours of 1 am and 5 am.

Alarm System:

An audio/visual high-water alarm will be installed on this system. NuWater control panel (SPI-BIO Model 50B138-AAV-PT) with Timed Control with 24hr timer (Omron HC3R) or equal. The alarm/light will be installed in a high visible location close to the pump tank.

Optional Components:

- 30 PSI Pressure Regulator will be used to maintain the 30 PSI to the sprinkler heads. The installer will consult me or G.P. Equipment when purchasing this device. The pressure reducer will be placed in-line between the pump and the spray heads. Additionally, this spray head is adjustable to help achieve the required radius
- Pressure Gauge of not less than 45PSI will be installed to regulate flow to the spray field

Installation Notes:

- Refer to site plan for component placement and follow manufacturer's instructions for installation of treatment plant and aerator.
- All materials and construction methods are required to conform to the standards for Private Sewage Facility's set forth in the Texas Administrative Code, §285 On-Site Sewage Facilities. The installer must have a current and valid Texas installer certificate, and is required to have at the minimum an Installer II certification.

- The installer must notify designer and regulatory authority at least 48 hours in advance to schedule required inspections to ensure that the system is installed in accordance with the approved plans and specifications.
- The installer may not alter these plans without the approval of the designer.
- All electrical installation must follow applicable electric codes.
- ***It is the responsibility of the installer to maintain the minimum setback requirements as stated in §285.***
- ***A Diversion berm will be place when needed to protect irrigation area from excessive runoff.***

Tank Notes:

- The bottom of the excavation for the tanks shall be level and free of large rocks and debris.
- All tanks are to be set level on a layer, with a minimum thickness of 4 inches, of sand, sandy loam, clay loam, or pea gravel.
- Tank excavations must be backfilled with soil or pea gravel that is free of rock larger than ½ inch in diameter. Class IV soils and gravel larger than ½ inch in diameter are not acceptable for use as backfill material. If the top of a septic tank extends above the ground surface, soil may be mounded over the tank to maintain slope to the drain field.
- Risers are required over all tank openings and must extend to the ground surface.
- Risers shall be permanently fastened to the tank lid.
- The riser lid shall screw down and have a lock or weigh 65lbs.
- A secondary plug, cap, netting, etc. shall be provided below the riser lid.
- All openings in the tank must be properly sealed to prevent the escape of wastewater, or to prevent the infiltration of water.
- Tanks must be filled with water for 24 hours to test for leaks and structural integrity.
- The tanks must be set low enough to have fall of at least 1/8" per foot from house to tank.
- PVC pipe from house to tank must be at least Sch.40 or SDR 26.

Additional Notes:

- Install audio-visual alarm for aerator and pump on separate breakers.
- The high water and air compressor alarms shall be audio/visual and mounted in a place that can be easily seen and heard when the alarms are activated.
- A hose bib must be installed in pump tank at tank inspection port.
- The chlorinator must be constructed to allow a chlorine residual of 0.1 mg/l in the pump tank for the period between scheduled inspections.
- The disinfected effluent must obey the standards as stated in §285, TCEQ, On-Site Sewage Facilities. Approved disinfections methods using chlorinated tablets, must use calcium hypochlorite that is properly labeled for wastewater disinfections.

Maintenance Requirements:

- The applicant must furnish to the regulatory authority a valid maintenance contract with a certified maintenance company before a permit will be issued.
- The maintenance company will verify that the system is operating properly and that they will provide on-going maintenance of the installation.
- The initial contract will be a minimum of 2 years.



- A maintenance contract will authorize the Maintenance Company to maintain and repair the system as needed.
- The owner must continuously maintain a signed written contract with a valid maintenance company and shall submit a copy of the contract to the permitting authority at least 30 days prior to the date service will cease.

Affidavit:

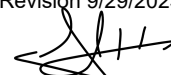
- The applicant must file a certified copy of an affidavit at the County clerk's office and filed in reference to the real property deed on which the surface application system is to be installed.
- The affidavit will state that the property shall not be transferred to a new owner without:
 - (1) The new owner being advised that the property contains a surface application system for wastewater disposal;
 - (2) The permit issued to the previous owner of the property being transferred to the new owner in accordance with §285.20(5) of the TCEQ OSSF Rules, i.e.; the permit will be issued in the name of the owner of the OSSF. Permits shall be transferred to the new owner automatically upon legal sale of the OSSF. The transfer of an OSSF permit under this section shall occur upon actual transfer of the property on which the OSSF is located unless the ownership of the OSSF had been severed from the property.
 - (3) The new owners submitting a valid maintenance contract to the permitting authority.

Operation and Management Notes:

- The OSSF should not be treated as a normal city sewer.
- Water conservation practices should be always used. Consult your local authorities for more information.
- Run the dishwasher with a full load whenever possible
- Avoid running water continuously when brushing teeth, washing hands, or cleaning food and utensils.
- Repair any water leaks immediately, such as running toilets or leaky faucets.
- The owner is responsible for cleaning and pumping the septic tank, typically every 2 to 3 years depending on system usage.
- Do not use the toilet to dispose of tissue, feminine hygiene products, trash, cigarettes, etc.
- It is recommended that you do not use the garbage disposal and/ or garbage grinders in the facility serviced by this system.
- Household chemicals should be used in moderation.
- According to §285, no water softener will be allowed to enter the OSSF.
- Chemical additives or the so-called enzymes should not be used during the operation of this system. Some of these additives may even be harmful to the facilities operation.
- Do not build driveways, storage buildings, decks, or other structures over the tank or disposal area.
- The OSSF must be protected from meeting vehicular traffic.
- A strong vegetative cover is essential for the proper operation of this system. The property owner is solely responsible for maintaining this vegetation. The irrigation area should be groomed by mowing on a regular basis.
- If you notice a problem with the spray patterns, or any of the alarms are activated, contact your maintenance provider immediately.
- Never place a greater wastewater load on your system than that prescribed by the design of the system (**460 gallons per day**).



****The proposed system has been designed generally following the minimum requirements under TCEQ §285 On Site Sewage Facilities and Hays County setback requirements. The site evaluation and subsequent design are based on technical information currently available. The performance of the OSSF is not, and cannot be guaranteed even though all provisions of the Standards have been complied with. If failure should occur, additions to the OSSF may have to be made. In extreme cases a substitute system may be required. By accepting this design, the homeowner/contractor understands the conditions, and agrees that the designer will not be liable for any more than the agreed upon design***



1401 Estrellita Ranch Road
Canyon Lake, Texas 78133

REVISED
9:25 am, Oct 02, 2023

C.E. Border Survey
No. 959 ABS 896
50.00 - Acres
Comal County, Texas

- A1 - Remodeled 5-Bedroom Single-Family Residence (< 4499 sq. ft.).
- A2 - 1-Bedroom Casita (< 1000 sq. ft.).
- B1 - Existing Hoot ATU - 100% Abandoned.
- B2 - NuWater Model B-1000 Aerobic Treatment Unit.
1500 - Gallon Pump Tank.
- C1 - Existing Septic Spray Heads - 100% Abandoned.
- C2 - K Rain Pro Plus, 29' Radius, Sprinkler Head
#3LA Nozzle @ 30 PSI and 3.0 GPM per Head.
- D - See Ch. 290 Note on Site Plan for H2O Crossing.
- E - Sch. 40 PVC sleeve under sidewalk. Must extend 5' from each
end of the sidewalk.

C/O - Two-Way Cleanout

Provide Two-Way Cleanout from House to Tank.
3" or 4" Sch. 40 between House and Tank. Must maintain
a minimum of 1/8" per foot of fall between house and tank.

Supply Line: 1" Sch. 40 PVC Purple Pipe

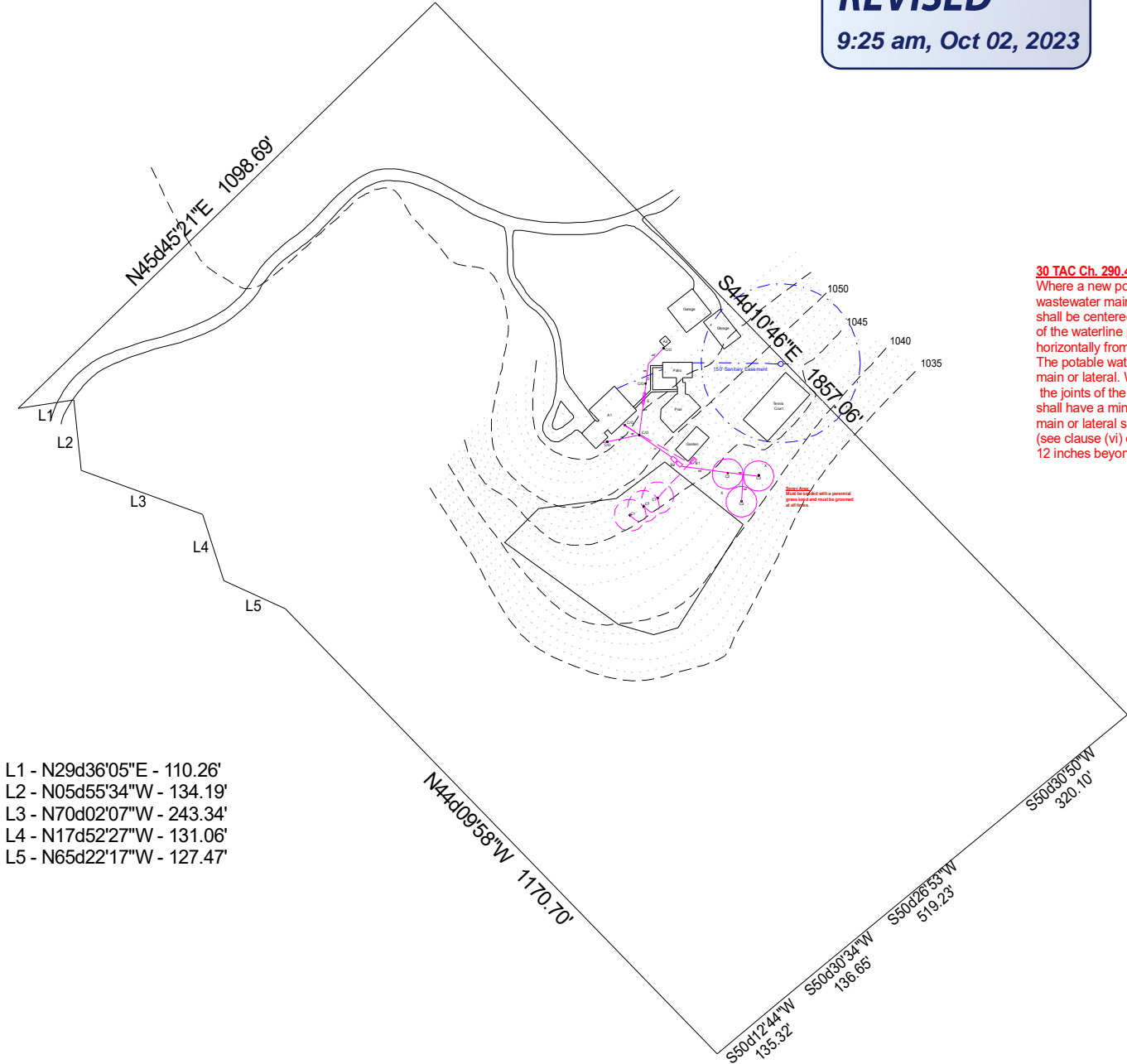
Maintain 10' from all Property Lines.
Maintain 10' from all Potable Water Lines.

*Refer to Tank Detail and Design Notes for more
Information.

*Plans may vary Slightly based on Conditions
Encountered in the Field.

*Trim Trees as Neccessary in Application Area.
Trees must maintain at least 10' from Sprinkler
Head.

*All Separation and Setback Requirements as Stated in
Chapter 285, TCEQ, On-Site Sewage Facilities, must
be maintained.



30 TAC Ch. 290.44
Where a new potable waterline crosses a new, pressure rated
wastewater main or lateral, one segment of the waterline pipe
shall be centered over the wastewater line such that the joints
of the waterline pipe are equidistant and at least nine feet
horizontally from the center line of the wastewater main or lateral.
The potable waterlines shall be at least six inches above the wastewater
main or lateral. Whenever possible, the crossing shall be centered between
the joints of the wastewater main or lateral. The wastewater pipe
shall have a minimum pressure rating of at least 150 psi. The wastewater
main or lateral shall be embedded in cement stabilized sand
(see clause (vi) of this subparagraph) for the total length of one pipe segment plus
12 inches beyond the joint on each end.

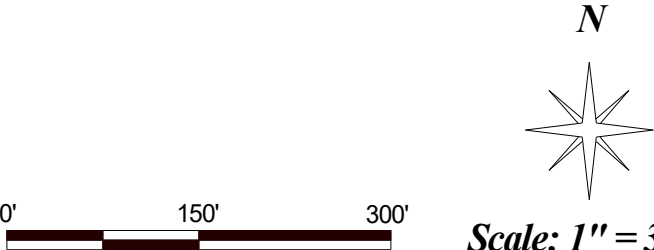
- L1 - N29d36'05"E - 110.26'
- L2 - N05d55'34"W - 134.19'
- L3 - N70d02'07"W - 243.34'
- L4 - N17d52'27"W - 131.06'
- L5 - N65d22'17"W - 127.47'

Revision 9/29/2023

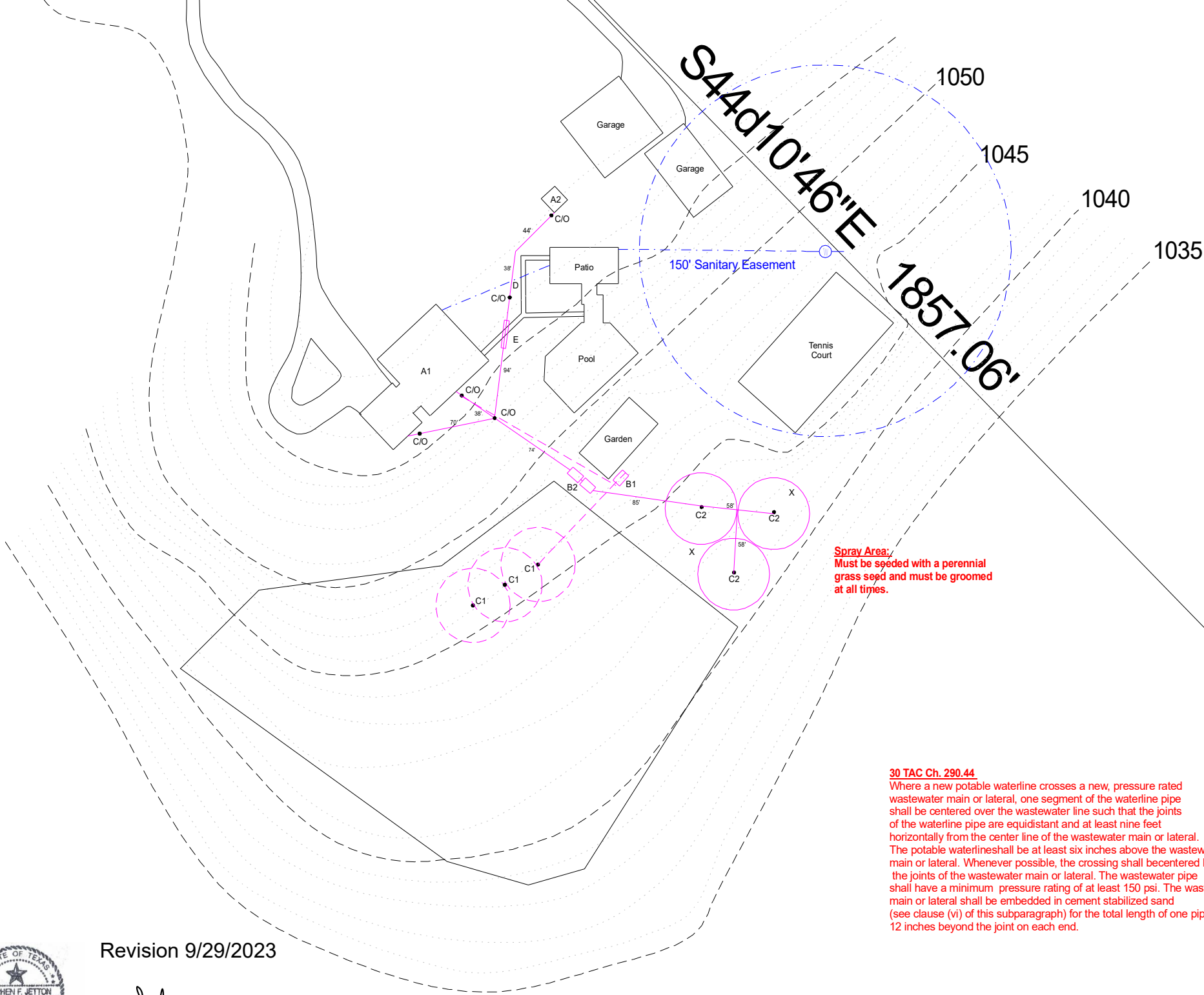
*Flood Plain Note: This property depicted is not
within the Regulated Flood Plain. Panel 48091
C0 120F Dated 9/2/2009.



*This is not intended to be used as an official
survey. All structures and Contour locations
are approximate.



REVISED
9:25 am, Oct 02, 2023



Spray Area:
Must be seeded with a perennial
grass seed and must be groomed
at all times.

30 TAC Ch. 290.44
Where a new potable waterline crosses a new, pressure rated
wastewater main or lateral, one segment of the waterline pipe
shall be centered over the wastewater line such that the joints
of the waterline pipe are equidistant and at least nine feet
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12 inches beyond the joint on each end.

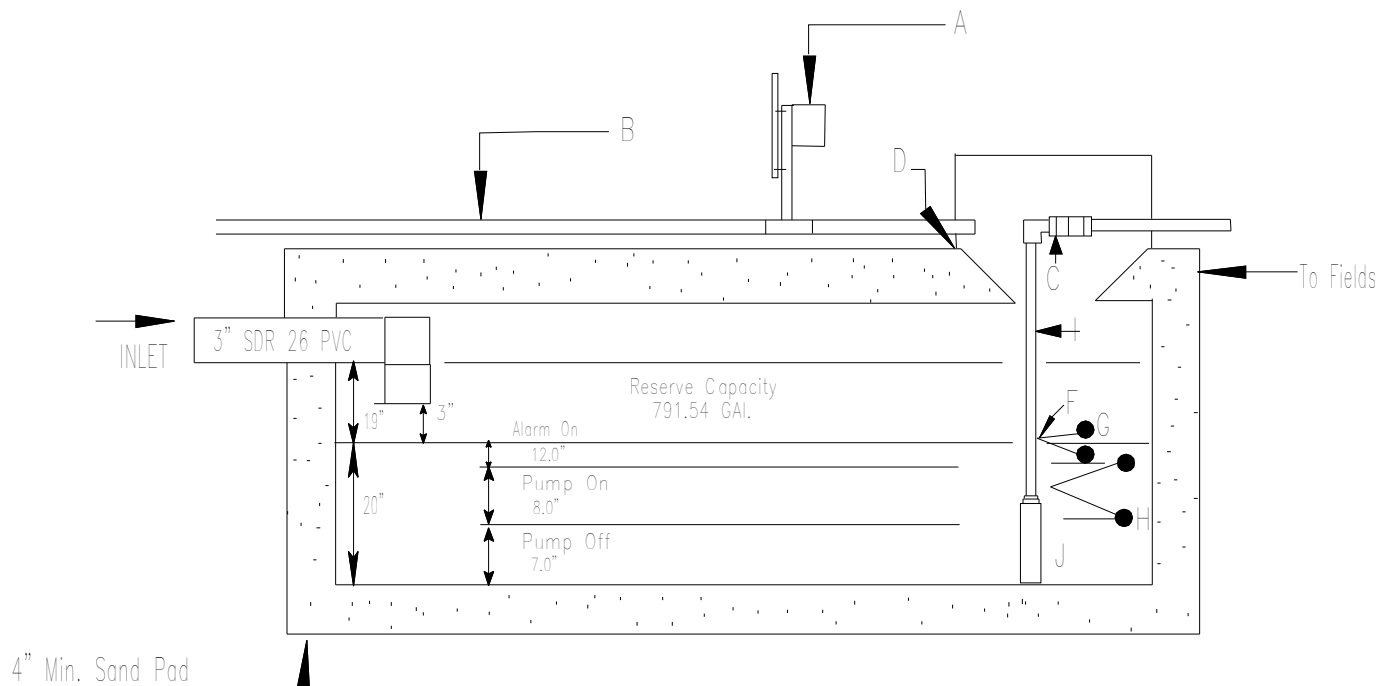
Scale: 1" = 100'



Revision 9/29/2023

Typical 1500-Gallon One-Compartment Pump Tank

- A - Weatherproof Electrical Enclosure(Mount to Post or Building)
- B - Electrical Conduit
- C - Threaded Union Repair Coupling
- D - Watertight Sealant
- F - Stainless or Plastic Clamp
- G - High level alarm Mercury Switch(for Audio/Visual Alarm)
- H - Wide Angle Mercury Float Switch
- I - 1" Diameter SCH 40 Discharge Line
- J - 3" Concrete Pad
- K - Ashland Pump CPM Series - 20+ CPM5-115 20GPM 1/2 H.P.



1500 Gallon Pump Tank



8-21-2023

Not to Scale



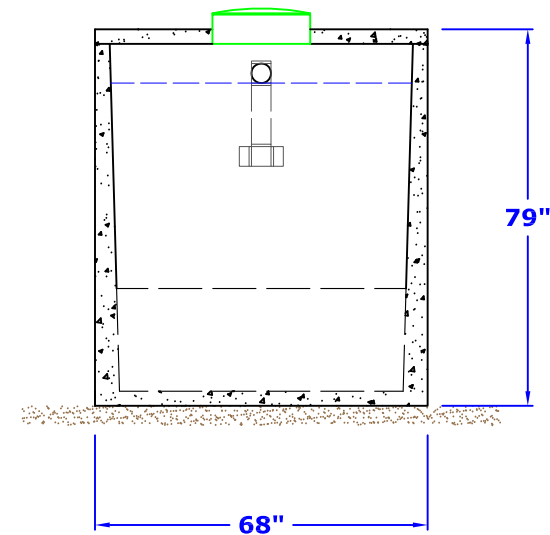
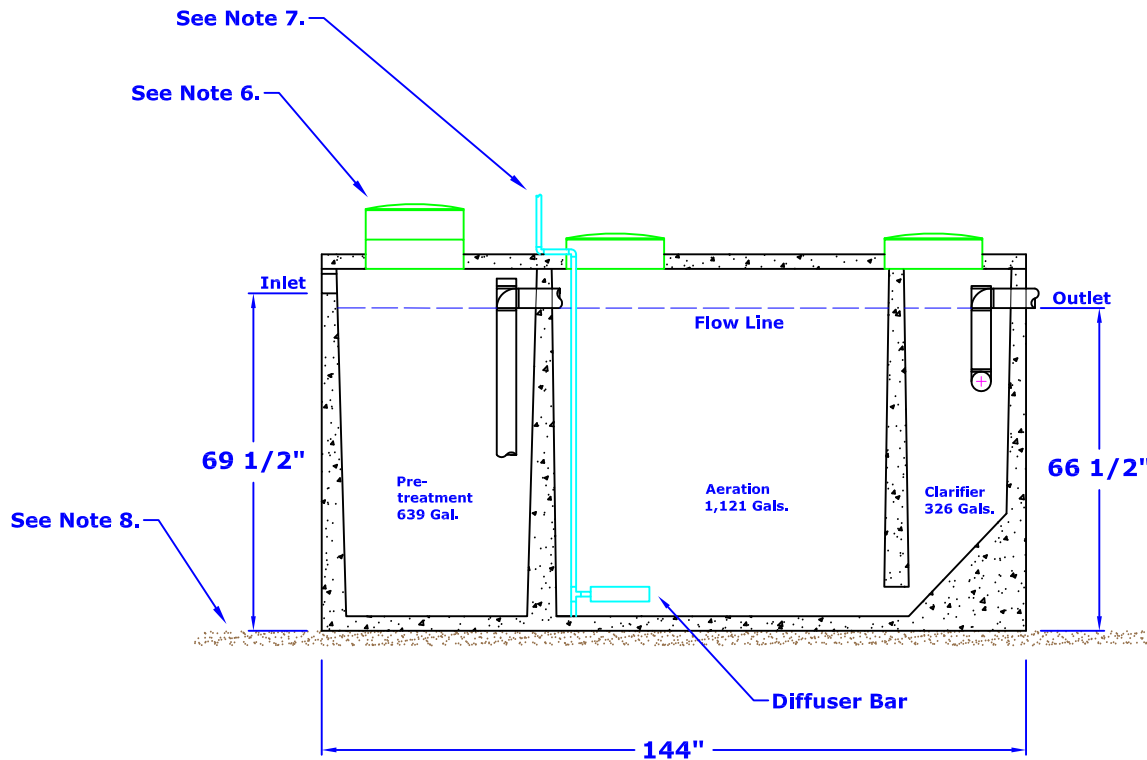
MINIMUM EXCAVATION DIMENSIONS:

Width: 80"
Length: 156"

GENERAL NOTES:

1. Plant structure material to be precast concrete and steel.
2. Maximum burial depth is 30" from slab top to grade.
3. Weight = 16,600 lbs.
4. Treatment capacity is 1,000 GPD.
5. BOD Loading = 3.00 lbs. per day.
6. 20" Ø access riser w/ lid (Typical 3). Optional extension risers available.
7. 1" Sch. 40 PVC Air Line to Bio-Robic B-1000 Air Compressor (Max. 50 Lft from Plant).
8. 4" min. compacted sand or gravel pad by Contractor

8-21-2023



**NuWater B-1000
Aerobic Treatment Plant (Assembled)**

Model: B-1000

July, 2012
By: A.S.

Scale:

* All Dimensions subject to allowable specification tolerances.

Dwg. #: ADV-B1000-2



Advantage Wastewater Solutions llc.
444 A Old Hwy No 9
Comfort, TX 78013
830-995-3189
fax 830-995-4051

CISTERN PUMPS

CPM Series

Ashland Pump – CPM Series

The Ashland Pump CPM Series is designed to operate in filtered effluent/gray water applications. The bottom suction design allows for maximum drawdown of fluid and the hydraulic stages are able to pass 1/8" solids without damage to the pump.

Installations in cistern tanks, rain basin catchments or anywhere drawdown levels need to be maximized are ideal applications for the Ashland Pump CPM Series.

APPLICATIONS

- Filtered Effluent Water Pumping
- Gray Water Pumping
- Water Feature / Aeration Applications
- Rain Water Basin Applications

FEATURES

- Bottom suction design for maximum drawdown
- Able to pass 1/8" solids
- Available in 10, 20 and 30 GPM flow rates
- ½ HP, 115V and 230V single phase motors
- Heavy duty discharge with stainless steel internal threads
- 600 Volt, 10' SJ00W jacketed lead
- High shut-off pressure
- Quiet operation
- Standard removable base for stable mounting



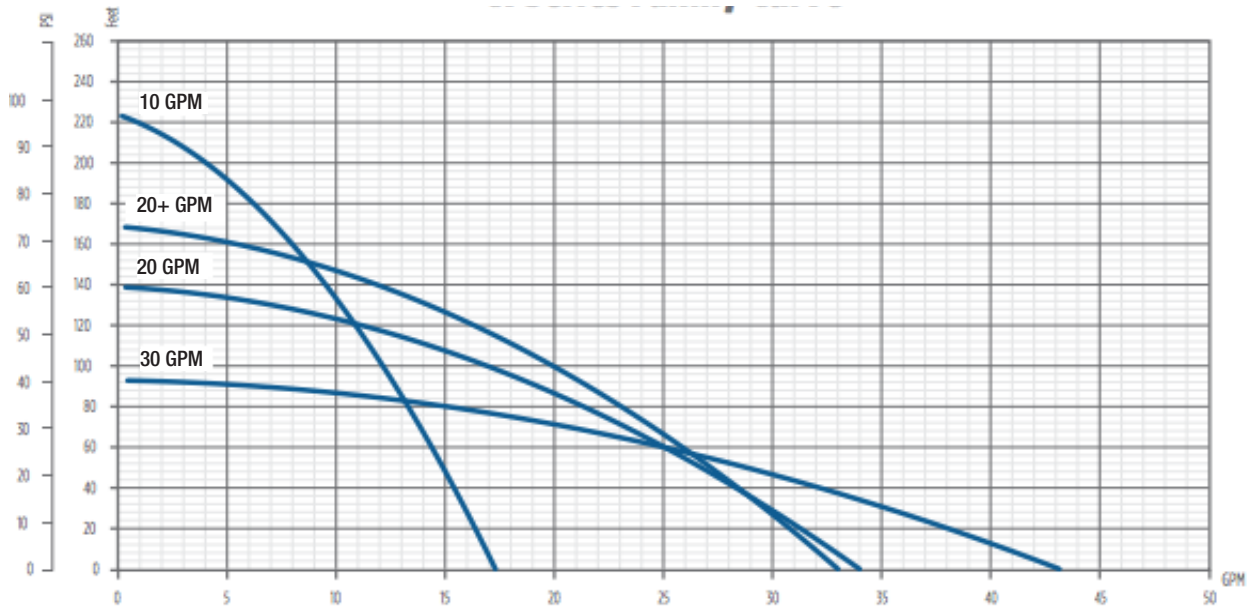
8-21-2023

ORDERING INFORMATION

CPM SERIES CISTERN PUMP						
Model/Order No.	GPM	HP	Voltage/Ph.	Stage Count	Length (in.)	Shipping Wt. (lbs.)
10CPM5-115	10	1/2	115/1	7	26	17
10CPM5-230	10		230/1	7	26	17
20CPM5-115	20		115/1	5	25	16
20CPM5-230	20		230/1	5	25	16
20+CPM5-115	20+		115/1	6	26	17
20+CPM5-230	20+		230/1	6	26	17
30CPM5-115	30		115/1	4	25	16
30CPM5-230	30		230/1	4	25	16



ASHLAND PUMP CPM SERIES CISTERN PUMP PERFORMANCE



P U M P

Honest, Professional, Dependable

1899 Cottage Street, Ashland, Ohio 44805

Telephone: 855 281-6830 • Fax: 877 326-1994 • ashlandpump.com



8-21-2023

PROPLUS™ GEAR DRIVEN SPRINKLER SETTING INSTRUCTIONS

NOTE: The **ProPlus** is factory preset with a 90° arc setting, and includes a pre-installed #2.5 nozzle.

CHANGING A NOZZLE

1► REMOVING THE NOZZLE RETENTION SCREW

Use your K-Key or a small flat blade screwdriver to remove the nozzle retention screw by turning counter-clockwise to remove and clockwise to re-install.

2► PULL UP THE RISER

Insert the K-Key in the keyhole on the top of the nozzle turret and turn the key 1/4 turn to insure that the key does not slip out of the keyhole when you pull it up. Firmly pull up the entire spring-loaded riser to access the nozzle socket. Hold the riser assembly up with one hand.

3► REMOVING THE NOZZLE

With the nozzle retention screw removed, insert the K-Key into the slot directly under the nozzle "prongs" at the top of the nozzle. Now, turn the key 1/4 turn to "hook" the nozzle and pull the nozzle out.

4► INSTALLING A NOZZLE

Press the desired nozzle into the nozzle socket. Make sure the nozzle number is visible and the nozzle "prongs" are up. Then, re-install the nozzle retention screw. **NOTE:** The nozzle retention screw is also a break-up screw and used to adjust the distance of the spray.

SETTING THE ARC ADJUSTMENT

1► FINDING THE LEFT START POSITION

Place your finger on the top center of the nozzle turret. Rotate the turret to the right until it stops and then back to the left until it stops. Notice the position of the nozzle arrow. This is the "Left Start" position. The sprinkler will begin spraying from this position and rotate clockwise until it reaches the right Adjustable Stop-Return Point.

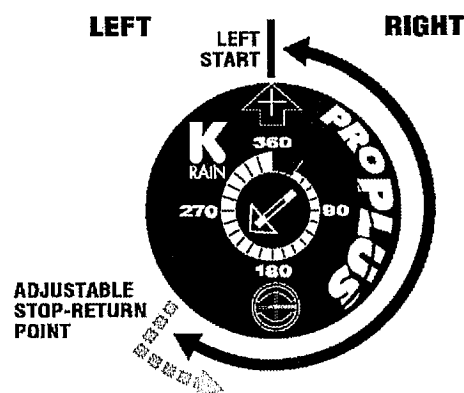
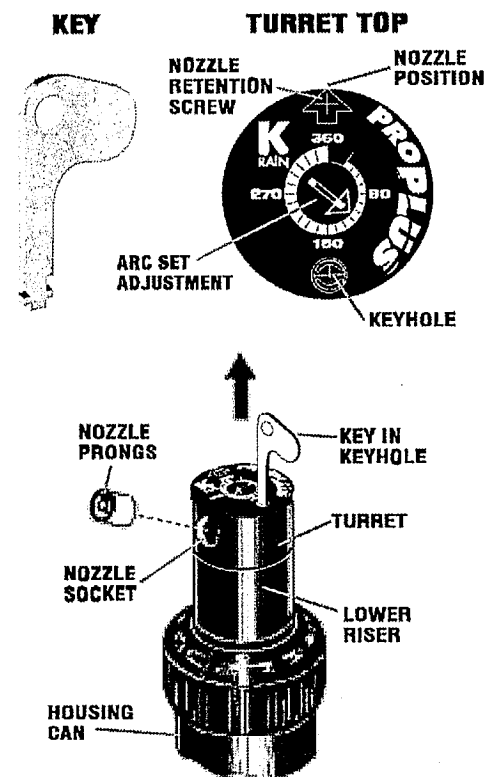
2► ORIENTING THE LEFT START POSITION

Insert the K-Key in the keyhole on the top of the nozzle turret and turn the key 1/4 turn to insure that the key does not slip out of the keyhole when you pull it up. Being careful not to allow the nozzle turret to turn, firmly pull up the entire spring-loaded riser. Hold the lower riser assembly up with one hand. Now turn only the lower riser clockwise or counter-clockwise until the nozzle arrow is pointing where you want the sprinkler to begin spraying.

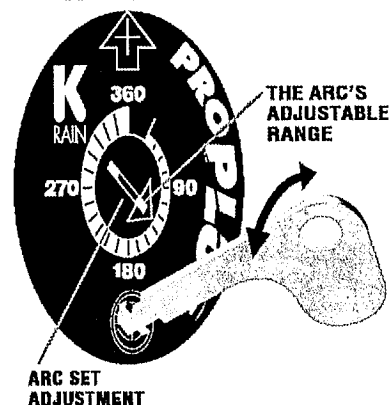
3► CHANGING THE ARC

Insert the K-Key or a small flat blade screwdriver into the Arc Set Adjustment slot. Turn clockwise to increase the arc or counter-clockwise to decrease the arc.

WHEN SET AT 360°, THE PROPLUS WILL ROTATE CONTINUOUSLY IN A CLOCKWISE DIRECTION.



**ARC SELECTION:
40° TO 360°**



8-21-2023

PROPLUS™ GEAR DRIVEN SPRINKLER SETTING INSTRUCTIONS

SPRINKLER INSTALLATION

1► INSTALL AND BURY

Do not use pipe dope. Thread the sprinkler on the pipe. Bury the sprinkler flush to grade. **NOTE:** Gear driven sprinklers and pop-up sprays should not be installed on the same watering zone.

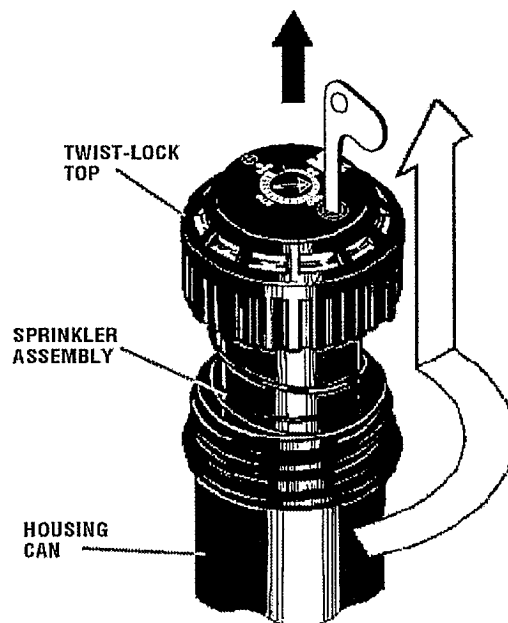
2► INSPECTING THE FILTER

Unscrew the top and lift the complete sprinkler assembly out of the housing can. The filter is located on the bottom of the sprinkler assembly and can easily be pulled out, cleaned and re-installed.

3► WINTERIZATION TIPS

When using an air compressor to remove water from the system please note the following:

- 1) Do not exceed 30 PSI.
- 2) Always introduce air into the system gradually to avoid air pressure surges. Sudden release of compressed air into the sprinkler can cause damage.
- 3) Each zone should run no longer than 1 minute on air. Sprinklers turn 10 to 12 times faster on air than on water. Over spinning rotors on air can cause damage to the internal components.



STANDARD NOZZLE PERFORMANCE

Nozzle	U.S.			METRIC					
	Pressure PSI	Radius FL	Flow GPM	Pressure KPa	Radius Meters	Flow L/M	Pressure Bars	Radius Meters	Flow M ³ /H
#2.5 Factory Installed Nozzle	30	38'	2.5	206	2.04	11.6	2.04	11.6	.57
	40	39'	2.8	275	2.72	11.9	2.72	11.9	.64
	50	40'	3.2	345	3.40	12.2	3.40	12.2	.73
	60	41'	3.6	413	4.08	12.5	4.08	12.5	.79
#0.5	30	28'	0.5	206	2.0	8.5	2.0	8.5	.11
	40	29'	0.6	275	3.0	8.8	3.0	8.8	.14
	50	29'	0.7	345	3.5	8.8	3.5	8.8	.16
	60	30'	0.8	413	4.0	9.1	4.0	9.1	.18
#0.75	30	29'	0.7	206	2.0	8.8	2.0	8.8	.16
	40	30'	0.8	275	3.0	9.1	3.0	9.1	.18
	50	31'	0.9	345	3.5	9.4	3.5	9.4	.20
	60	32'	1.0	413	4.0	9.8	4.0	9.8	.23
#1	30	32'	1.3	206	2.0	9.8	2.0	9.8	.14
	40	33'	1.5	275	3.0	10.1	3.0	10.1	.18
	50	34'	1.6	345	3.5	10.4	3.5	10.4	.20
	60	35'	1.8	413	4.0	10.7	4.0	10.7	.23
#2	30	37'	2.4	206	2.0	11.3	2.0	11.3	.54
	40	40'	2.5	275	3.0	12.2	3.0	12.2	.56
	50	42'	3.0	345	3.5	12.8	3.5	12.8	.68
	60	43'	3.3	413	4.0	13.1	4.0	13.1	.75
#3	30	38'	3.6	206	2.0	11.6	2.0	11.6	.75
	40	39'	4.2	275	3.0	11.9	3.0	11.9	.95
	50	41'	4.6	345	3.5	12.5	3.5	12.5	1.04
	60	42'	5.0	413	4.0	12.8	4.0	12.8	1.13
#4	30	43'	4.4	206	2.0	13.1	2.0	13.1	.99
	40	44'	5.1	275	3.0	13.4	3.0	13.4	1.15
	50	46'	5.6	345	3.5	14.0	3.5	14.0	1.27
	60	49'	5.9	413	4.0	14.9	4.0	14.9	1.33
#6	40	45'	5.9	206	3.0	13.7	3.0	13.7	1.33
	50	46'	6.0	275	3.5	14.0	3.5	14.0	1.36
	60	48'	6.3	345	4.0	14.6	4.0	14.6	1.43
	70	49'	6.7	413	5.0	14.9	5.0	14.9	1.52
#8	40	42'	8.0	206	3.0	12.8	3.0	12.8	1.81
	50	45'	8.5	275	3.5	13.7	3.5	13.7	1.92
	60	49'	9.5	345	4.0	14.8	4.0	14.8	2.15
	70	50'	10.0	413	5.0	15.3	5.0	15.3	2.27

LOW ANGLE NOZZLE PERFORMANCE

Nozzle	U.S.			METRIC					
	Pressure PSI	Radius FL	Flow GPM	Pressure KPa	Radius Meters	Flow L/M	Pressure Bars	Radius Meters	Flow M ³ /H
#1	30	22'	1.2	207	2.04	6.71	2.04	6.71	.34
	40	24'	1.7	275	2.72	7.32	2.72	7.32	.39
	50	26'	1.8	344	3.40	7.92	3.40	7.92	.41
	60	28'	2.0	413	4.08	8.53	4.08	8.53	.46
#3	30	29'	3.0	207	2.04	8.84	2.04	8.84	.68
	40	32'	3.1	275	2.72	9.75	2.72	9.75	.71
	50	35'	3.5	344	3.40	10.67	3.40	10.67	.80
	60	37'	3.8	413	4.08	11.58	4.08	11.58	.87
#4	30	31'	3.4	207	2.04	9.45	2.04	9.45	.78
	40	34'	3.9	275	2.72	10.36	2.72	10.36	.89
	50	37'	4.4	344	3.40	11.28	3.40	11.28	1.00
	60	38'	4.7	413	4.08	11.58	4.08	11.58	1.07
#6	40	38'	6.5	275	2.72	11.58	2.72	11.58	1.68
	50	40'	7.3	344	3.40	12.19	3.40	12.19	1.76
	60	42'	8.0	413	4.08	12.80	4.08	12.80	1.82
	70	44'	8.6	482	4.76	13.41	4.76	13.41	1.96

Data represents test results in zero wind for ProPlus. Adjust for local conditions. Radius may be reduced with nozzle retention screw.



8-21-2023

[Signature]



K-RAIN MANUFACTURING CORP.
1640 Australian Avenue
Riviera Beach, FL 33404 USA
PH: 1-561-844-1002 / 1-800-735-7246
FAX: 1-561-842-9493
WEB: <http://www.krain.com>

REVISED

9:22 am, Oct 02, 2023

September 29, 2023

RE:

Design review comments Permit 116651

1401 Estrellita LLC

To whom it may concern,

Please see the following comments from your review email dated September 20, 2023.

1. Affidavit attached.
2. Holes added on site plans with 'X' in spray area.
3. Abandon instructions added to design notes starting on the bottom of page ~~2~~ 3.
4. Sleeve added to site plan noted by 'E' on site plan and legend.
5. Vegetation is already established in this area, but I put a note on both site plans in the spray area.

Please let me know if I can provide further information.

Thanks,



Stephen Jetton







From: [Ritzen, Brenda](#)
To: ["tim@5stones.cc"](mailto:tim@5stones.cc)
Cc: [Stephen Jetton](#)
Subject: Permit 116651
Date: Wednesday, September 20, 2023 4:00:00 PM
Attachments: [image001.png](#)

Re: 1401 Estrellita LLC
50 acres, C.E. Border Survey No. 959 Abstract No. 896
Application for Permit for Authorization to Construct an On-Site
Sewage Facility (OSSF)

Owner / Agent :

I have reviewed the planning materials for the referenced permit submittal and found the following information is needed before I can continue processing this permit:

-  **1. Submit a notarized Affidavit from the property owner indicating that both the 5 bedroom single family residence and the 1 bedroom Casita are for the exclusive use of members of the same single family household.**
-  **2. Show test hole locations on the design.**
-  **3. Verify that the existing ATU will be properly abandoned.**
-  **4. Provide equivalent protection of the sewer pipe which runs under what appears to be a sidewalk.**
- 5. Submit a vegetation plan for the spray area.**
- 6. Revise as needed and resubmit.**

Thank you,



Brenda Ritzen

Environmental Health Coordinator

195 David Jonas Dr.

New Braunfels, TX 78132

DR:OS00007722

830-608-2090

www.cceo.org

VOID

Southwest Septic Design

On-Site Sewage Facility Application and Design

Prepared For:

1401 Estrellita LLC
1401 Estrellita Ranch Road
Canyon Lake, Texas 78133

Design 8076023

Prepared By:

Stephen F. Jetton
Registered Professional Sanitarian

VOID



8/21/2023

Stephen F. Jetton • Southwest Septic Design
2573 Deer Stand Loop • San Marcos, Texas 78666 • Mobile (512) 757-1259
E – Mail stephen.jetton@gmail.com

Southwest Septic Design

2573 Deer Stand Loop
San Marcos, Texas 78666
Hays County

Stephen.jetton@gmail.com
Mobile (512) 757-1259

**Design Report
On-Site Sewage facility
Aerobic Wastewater Treatment System
Utilizing Surface Spray Application**

OWNER/SITE LOCATION:

1401 Estrellita LLC
1401 Estrellita Ranch Road
C.E. Border Survey No. 959 ABS 896 – 50.00-acres
Canyon Lake, Texas 78133

SITE DESCRIPTION & EVALUATION:

A site evaluation indicated that the site has suitable soil for an aerobic surface irrigation system. The lot has a slope of less than 15 percent in the spray area, and there was no evidence of shallow groundwater. An existing private water well services this property. A timer will be used, and all portions of the spray radius will maintain at least a 10 ft. separation from all property lines and 10' from all water lines. There are no recharge features within 150' of this proposed system. This property is not within the 100-year floodplain. Separation distances as stated in §285 TCEQ, On-Site Sewage Facilities and Hays County Ordinance requirements must be maintained.

WASTEWATER DESIGN FLOW:

This design is for a 5-bedroom < 4499 sq. ft., single-family residence (360 GPD) and a 1-bedroom, < 1000 sq. ft., casita (100 GPD). Both structures will utilize low-flow fixtures. The projected daily waste flow is **460 gallons per day**, as per Texas Commission of Environmental Quality (TCEQ) On Site Sewage Facilities 12-29-2016

AEROBIC TREATMENT SYSTEM DESCRIPTION:

This residence will utilize a Nuwater Aerobic Treatment Plant, Model B-1000. A 639-gallon pretreatment/trash tank will precede the 1000-gallon per day aerobic treatment tank. Effluent from the aeration tank will flow through a liquid chlorinator (EZ Tank Chlorinator) to a 1500-gallon pump tank. The pump tank serves as a chlorine contact chamber and a storage tank prior to the treated/chlorinated effluent being discharged to sprinkler heads. The disposal area will consist of **3– 29 ft. 360°** radius patterns. The system is considered a “package system,” and will be installed according to manufacturer’s instructions.



8-21-2023

A handwritten signature in black ink, appearing to read "SJ", located at the bottom right of the page.

Design Specification:

Size of Residence	Living Area	< 4494 ft ²
Number of Bedrooms		5 + 1-bedroom Guest at < 1000 ft ²
Average Expected Flow		460 GPD
Application Rate	<i>0.064 Gal./ft²/Day</i>	0.064
Minimum Application Area	<i>(GPD)/(0.064 Gal./ft²/Day)</i>	7187.50 ft ²
Actual Application Area	<i>3.14(r²) x number of heads</i>	7922.22 ft ²

System Components:

Trash Tank	639 gallon one-compartment
Aeration Tank	1000 gallon per day
Pump Tank	1500 gallon

Pump Tank:

Pump Tank gallons per inch: 41.66" with 39" usable gallons

Operating Capacity: 12" x 41.66" = 499.92 operating gallons

Reserve Capacity: 43" usable depth (39 x 41.66 = 1624.74) 1624.74 – 833.20 = 791.54 reserve gallons

Pump off	7" Above tank floor	291.62 Gallons
Pump on	8" Above tank floor	333.28 Gallons
Alarm on	20" Above tank floor	833.20 Gallons

Combined capacity of pretreatment and aeration tank is 1639 gallons. A 1500-gallon, single-compartment pump tank allows for a one day's flow above the alarm-on level.

Pump and Sprinkler Head Requirements:

Pump: Ashland Pump CPM Series – 20+CPM5-115 20GPM ½ H.P.

Sprinkler Head: K Rain Pro Plus with Purple Tops. *Equipped with anti-siphon nozzles.*

Nozzle #: **3 LA** (Low angle trajectory, 11 degrees), operating at 30 psi, 29 ft. radius and 3.0 GPM flow per sprinkler.

Dosing:

Application Flow Rate 3.0 gpm/head x 3 heads = 9.0 *gpm*

Application Time: 2 doses @ 240 gal/dose / 9.0 gpm = ~ **27.0 min/dose**



8-21-2023

Head Requirements:

Elevation head: 4 (*assumed elevation at top of pump 1042 and highest spray head at 1046*).

Pressure head: 30 psi x 2.31 ft/psi = 69.30 ft.

Friction head: 1" Sch. 40 PVC @ 9.0 gpm = 5.49 ft. $(201 \times 5.49/100 \times 1.2) = 13.24$

TDH = 4 ft. + 69.30 ft + 13.24 = 86.54 (within pump curve)

A commercial timer must be set to provide two doses a day, one at 1 a.m. and the other at 4 a.m. An unthreaded sampling valve must also be provided. Under the Texas Administrative Code, §285 On-Site Sewage Facilities, this system must be installed with a night timer, set to spray between the hours of 1 am and 5 am.

Alarm System:

An audio/visual high-water alarm will be installed on this system. NuWater control panel (SPI-BIO Model 50B138-AAV-PT) with Timed Control with 24hr timer (Omron HC3R) or equal. The alarm/light will be installed in a high visible location close to the pump tank.

Optional Components:

- 30 PSI Pressure Regulator will be used to maintain the 30 PSI to the sprinkler heads. The installer will consult me or G.P. Equipment when purchasing this device. The pressure reducer will be placed in-line between the pump and the spray heads. Additionally, this spray head is adjustable to help achieve the required radius
- Pressure Gauge of not less than 45PSI will be installed to regulate flow to the spray field

Installation Notes:**VOID**

- Refer to site plan for component placement and follow manufacturer's instructions for installation of treatment plant and aerator.
- All materials and construction methods are required to conform to the standards for Private Sewage Facility's set forth in the Texas Administrative Code, §285 On-Site Sewage Facilities. The installer must have a current and valid Texas installer certificate, and is required to have at the minimum an Installer II certification.
- The installer must notify designer and regulatory authority at least 48 hours in advance to schedule required inspections to ensure that the system is installed in accordance with the approved plans and specifications.
- The installer may not alter these plans without the approval of the designer.
- All electrical installation must follow applicable electric codes.
- ***It is the responsibility of the installer to maintain the minimum setback requirements as stated in §285.***
- ***A Diversion berm will be place when needed to protect irrigation area from excessive runoff.***



8-21-2023

A handwritten signature in black ink, appearing to be "S. Jetton", written over a horizontal line.

Tank Notes:

- The bottom of the excavation for the tanks shall be level and free of large rocks and debris.
- All tanks are to be set level on a layer, with a minimum thickness of 4 inches, of sand, sandy loam, clay loam, or pea gravel.
- Tank excavations must be backfilled with soil or pea gravel that is free of rock larger than ½ inch in diameter. Class IV soils and gravel larger than ½ inch in diameter are not acceptable for use as backfill material. If the top of a septic tank extends above the ground surface, soil may be mounded over the tank to maintain slope to the drain field.
- Risers are required over all tank openings and must extend to the ground surface.
- Risers shall be permanently fastened to the tank lid.
- The riser lid shall screw down and have a lock or weigh 65lbs.
- A secondary plug, cap, netting, etc. shall be provided below the riser lid.
- All openings in the tank must be properly sealed to prevent the escape of wastewater, or to prevent the infiltration of water.
- Tanks must be filled with water for 24 hours to test for leaks and structural integrity.
- The tanks must be set low enough to have fall of at least 1/8" per foot from house to tank.
- PVC pipe from house to tank must be at least Sch.40 or SDR 26.

Additional Notes:

- Install audio-visual alarm for aerator and pump on separate breakers.
- The high water and air compressor alarms shall be audio/visual and mounted in a place that can be easily seen and heard when the alarms are activated.
- A hose bib must be installed in pump tank at tank inspection port.
- The chlorinator must be constructed to allow a chlorine residual of 0.1 mg/l in the pump tank for the period between scheduled inspections.
- The disinfected effluent must obey the standards as stated in §285, TCEQ, On-Site Sewage Facilities. Approved disinfections methods using chlorinated tablets, must use calcium hypochlorite that is properly labeled for wastewater disinfections.

Maintenance Requirements:

- The applicant must furnish to the regulatory authority a valid maintenance contract with a certified maintenance company before a permit will be issued.
- The maintenance company will verify that the system is operating properly and that they will provide on-going maintenance of the installation.
- The initial contract will be a minimum of 2 years.
- A maintenance contract will authorize the Maintenance Company to maintain and repair the system as needed.
- The owner must continuously maintain a signed written contract with a valid maintenance company and shall submit a copy of the contract to the permitting authority at least 30 days prior to the date service will cease.

Affidavit:

- The applicant must file a certified copy of an affidavit at the County clerk's office and filed in reference to the real property deed on which the surface application system is to be installed.
- The affidavit will state that the property shall not be transferred to a new owner without:



8-21-2023

- (1) The new owner being advised that the property contains a surface application system for wastewater disposal;
- (2) The permit issued to the previous owner of the property being transferred to the new owner in accordance with §285.20(5) of the TCEQ OSSF Rules, i.e.; the permit will be issued in the name of the owner of the OSSF. Permits shall be transferred to the new owner automatically upon legal sale of the OSSF. The transfer of an OSSF permit under this section shall occur upon actual transfer of the property on which the OSSF is located unless the ownership of the OSSF had been severed from the property.
- (3) The new owners submitting a valid maintenance contract to the permitting authority.

Operation and Management Notes:

- The OSSF should not be treated as a normal city sewer.
- Water conservation practices should be always used. Consult your local authorities for more information.
- Run the dishwasher with a full load whenever possible
- Avoid running water continuously when brushing teeth, washing hands, or cleaning food and utensils.
- Repair any water leaks immediately, such as running toilets or leaky faucets.
- The owner is responsible for cleaning and pumping the septic tank, typically every 2 to 3 years depending on system usage.
- Do not use the toilet to dispose of tissue, feminine hygiene products, trash, cigarettes, etc.
- It is recommended that you do not use the garbage disposal and/ or garbage grinders in the facility serviced by this system.
- Household chemicals should be used in moderation.
- According to §285, no water softener will be allowed to enter the OSSF.
- Chemical additives or the so-called enzymes should not be used during the operation of this system. Some of these additives may even be harmful to the facilities operation.
- Do not build driveways, storage buildings, decks, or other structures over the tank or disposal area.
- The OSSF must be protected from meeting vehicular traffic.
- A strong vegetative cover is essential for the proper operation of this system. The property owner is solely responsible for maintaining this vegetation. The irrigation area should be groomed by mowing on a regular basis.
- If you notice a problem with the spray patterns, or any of the alarms are activated, contact your maintenance provider immediately.
- Never place a greater wastewater load on your system than that prescribed by the design of the system (**460 gallons per day**).

****The proposed system has been designed generally following the minimum requirements under TCEQ §285 On Site Sewage Facilities and Hays County setback requirements. The site evaluation and subsequent design are based on technical information currently available. The performance of the OSSF is not, and cannot be guaranteed even though all provisions of the Standards have been complied with. If failure should occur, additions to the OSSF may have to be made. In extreme cases a substitute system may be required. By accepting this design, the homeowner/contractor understands the conditions, and agrees that the designer will not be liable for any more than the agreed upon design***



8-21-2023

A handwritten signature in black ink, appearing to be "S. Jetton", located below the date.

1401 Estrellita Ranch Road
Canyon Lake, Texas 78133

C.E. Border Survey
No. 959 ABS 896
50.00 - Acres
Comal County, Texas

- A1 - Remodeled 5-Bedroom Single-Family Residence (< 4499 sq. ft.).
- A2 - 1-Bedroom Casita (< 1000 sq. ft.).
- B1 - Existing Hoot ATU - 100% Abandoned.
- B2 - NuWater Model B-1000 Aerobic Treatment Unit.
1500 - Gallon Pump Tank.
- C1 - Existing Septic Spray Heads - 100% Abandoned.
- C2 - K Rain Pro Plus, 29' Radius, Sprinkler Head
#3LA Nozzle @ 30 PSI and 3.0 GPM per Head.
- D - See Ch. 290 Note on Site Plan for H2O Crossing.

C/O - Two-Way Cleanout

Provide Two-Way Cleanout from House to Tank.
3" or 4" Sch. 40 between House and Tank. Must maintain
a minimum of 1/8" per foot of fall between house and tank.

Supply Line: 1" Sch. 40 PVC Purple Pipe

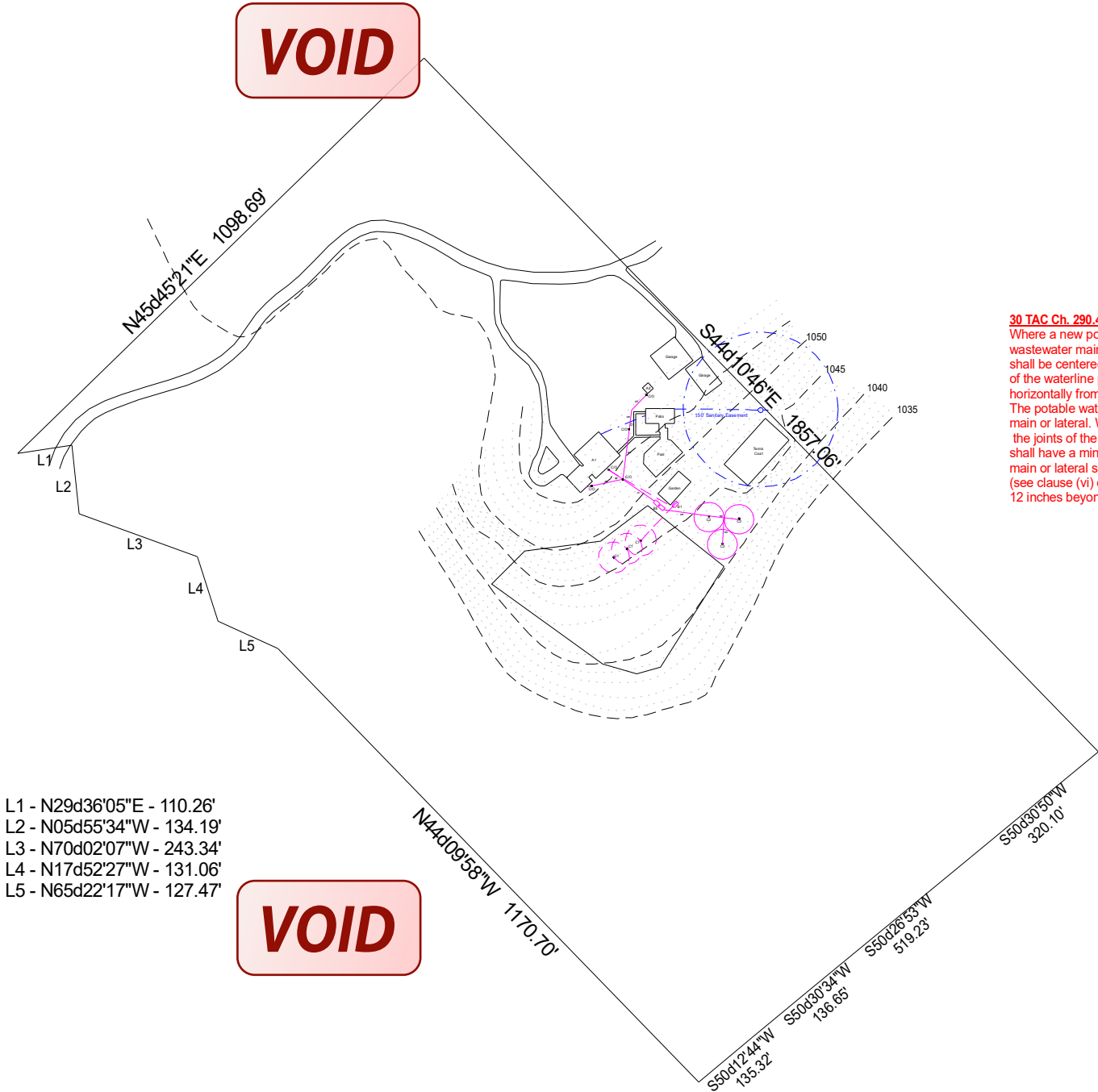
Maintain 10' from all Property Lines.
Maintain 10' from all Potable Water Lines.

*Refer to Tank Detail and Design Notes for more
Information.

*Plans may vary Slightly based on Conditions
Encountered in the Field.

*Trim Trees as Neccessary in Application Area.
Trees must maintain at least 10' from Sprinkler
Head.

*All Separation and Setback Requirements as Stated in
Chapter 285, TCEQ, On-Site Sewage Facilities, must
be maintained.



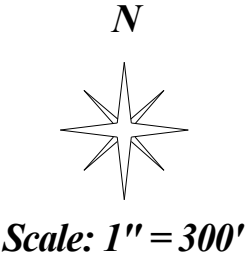
30 TAC Ch. 290.44
Where a new potable waterline crosses a new, pressure rated wastewater main or lateral, one segment of the waterline pipe shall be centered over the wastewater line such that the joints of the waterline pipe are equidistant and at least nine feet horizontally from the center line of the wastewater main or lateral. The potable waterlines shall be at least six inches above the wastewater main or lateral. Whenever possible, the crossing shall be centered between the joints of the wastewater main or lateral. The wastewater pipe shall have a minimum pressure rating of at least 150 psi. The wastewater main or lateral shall be embedded in cement stabilized sand (see clause (vi) of this subparagraph) for the total length of one pipe segment plus 12 inches beyond the joint on each end.

*This is not intended to be used as an official
survey. All structures and Contour locations
are approximate.



8-21-2023

*Flood Plain Note: This property depicted is not
within the Regulated Flood Plain. Panel 48091
C0 120F Dated 9/2/2009.



VOID

S44d10'46"E
1857.06'

1050

1045

1040

1035

Garage

Garage

A2

C/O

44'

38'

C/O

D

94'

A1

C/O

38'

C/O

70'

C/O

74'

B2

B1

85'

C2

C2

58'

58'

58'

C2

C1

C1

VOID

150' Sanitary Easement

Tennis Court

Garden

B2

B1

85'

C2

C2

58'

58'

58'

C2

C1

C1

VOID

30 TAC Ch. 290.44

Where a new potable waterline crosses a new, pressure rated wastewater main or lateral, one segment of the waterline pipe shall be centered over the wastewater line such that the joints of the waterline pipe are equidistant and at least nine feet horizontally from the center line of the wastewater main or lateral. The potable waterlines shall be at least six inches above the wastewater main or lateral. Whenever possible, the crossing shall be centered between the joints of the wastewater main or lateral. The wastewater pipe shall have a minimum pressure rating of at least 150 psi. The wastewater main or lateral shall be embedded in cement stabilized sand (see clause (vi) of this subparagraph) for the total length of one pipe segment plus 12 inches beyond the joint on each end.



8-21-2023

[Signature]

Scale: 1" = 100'

2172430

Independence Title/GF# _____ -DRP/MFB

General Warranty Deed

NOTICE OF CONFIDENTIALITY RIGHTS

IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: December 29 2021

Grantor: Gregory A. Stuart and spouse, Nancy R. Stuart

Grantor's Mailing Address: X 754 W. Edgewater Ter, New Braunfels, Tx 78130

Grantee: 1401 Estrellita, LLC, a Texas limited liability company

Grantee's Mailing Address: 1401 Estrellita Ranch Rd. C/O Erin N Tuggle, manager
100 Congress Ave #1100 Austin TX 78701

Consideration: Cash and other good and valuable consideration.

Property (including any improvements):

Tract 1: Being 50.00 acres of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and made a part hereof.

Tract 2: Being 1.00 acre of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "B" attached hereto and made a part hereof.

Tract 3: Non-Exclusive Easement Estate for ingress and egress, as set out in Volume 303, Page 38 and Volume 876, Page 541, Deed Records, Comal County, Texas.

Reservations from Conveyance: None

Exceptions to Conveyance and Warranty:

Liens described as part of the Consideration and any other liens described in this deed as being either assumed or subject to which title is taken; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing restrictions, reservations, covenants, conditions, oil and gas leases, mineral

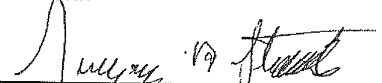
interests outstanding in persons other than Grantor, and other instruments, other than conveyances of the surface fee estate, that affect the Property; validly existing rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; any encroachments or overlapping of improvements; all rights, obligations, and other matters arising from and existing by reason of any water, utility, road, or improvement districts which affect the Property; standby fees, taxes, and assessments by any taxing authority for the current year, which Grantee assumes and agrees to pay, and subsequent assessments for that and prior years due to change in land usage, ownership, or both, the payment of which Grantee also assumes.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

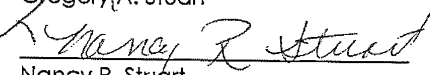
Limitation of Warranties: Pursuant to Section 7 of the purchase and sale contract between Grantor, as Seller, and Grantee, as Buyer, Grantee accepts the Property "AS IS". "As is" means the present condition of the Property with any and all defects and without warranty except for the warranties of title and the warranties in the purchase and sale contract.

When the context requires, singular nouns and pronouns include the plural.

NOTICE: This instrument was prepared by Hancock McGill & Bleau, LLP (HMB) at the request of Independence Title or the parties using information provided by the title company and the parties. Unless we have been provided with a copy of any contracts related to this transaction or been informed of any reservations required by the Grantor, the reservations will not be included in this warranty deed and by accepting this deed, all parties release HMB from any liability resulting from the failure to include undisclosed reservations. We have not investigated or verified information provided to us and do not warrant the validity of the information or quality of title to the real estate described above. **We do not represent the parties named in this instrument. The parties should seek independent legal counsel for advice concerning the effect and consequences of this instrument.**

x 

Gregory A. Stuart

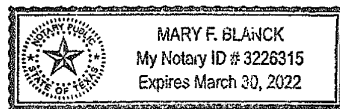


Nancy R. Stuart

State of Texas
County of Hays

This document was acknowledged before me on December 21, 2021 by Gregory A. Stuart.

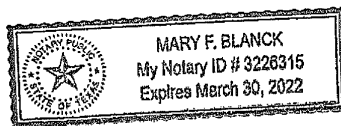
[Signature]
Notary Public, State of Texas



State of Texas
County of Hays

This document was acknowledged before me on December 21, 2021 by Nancy R. Stuart.

[Signature]
Notary Public, State of Texas



Prepared By:
Hancock McGill & Bleau, L.L.P.
Attorneys at Law
File No.2172430-sw

After Recording Return To:

EXHIBIT "A"

Tract 1:

Being 50.00 acres of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and made a part hereof.

Tract 2:

Being 1.00 acre of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "B" attached hereto and made a part hereof.

Tract 3:

Non-Exclusive Easement Estate for ingress and egress, as set out in Volume 303, Page 38 and Volume 876, Page 541, Deed Records, Comal County, Texas.

The Company is prohibited from insuring the area or quantity of the land described herein. Therefore, the Company does not represent that the acreage or square footage calculations are correct and references to the quantity are for informational purposes only.

EXHIBIT "A"

Description of a 50.00 acre tract of land, Comal County, Texas:

Being a 50.000 acre tract of land out of the Mrs. C. E. Border Survey No. 959, Abstract 896, Comal County, Texas, and being all of that certain 50.00 acre tract conveyed by Denise Marie Dunn Graves to Ron Graves by Special Warranty Deed dated July 5, 2001 and recorded as Document No. 200306009660 of the Official Public Records of Comal County, Texas, and described more particularly by metes and bounds as follows:

BEGINNING at a 1/2" re-bar rod found in the Southeast line of a 319.900 acre tract conveyed by George F. Faber to Sally Stell Faber by deed dated September 29, 1951 and recorded in Volume 97 on page 245 of the Deed Records of Comal County, Texas, for the West corner of a 50.580 acre tract conveyed by James Kenyon White to Thomas A. Curtis, Substitute Trustee for Michael D. Sadler & wife Peggy B. Sadler by deed dated February 4, 1992 and recorded in Volume 803 on pages 831-836 of the Official Public Records of Comal County, Texas, for the North corner of the above cited 50.00 acre tract, for the North corner of the herein described 50.00 acre tract;

THENCE with the Southwest line of the Sadler 50.580 acre tract, with the Northeast line of the said 50.00 acre tract, S. 44° 10' 46" E. 1,857.06 feet to a 3/4" iron pipe found in the Northwest line of Lot 175, EDEN RANCH SECTION 5, Plat recorded in Volume 9 on pages 160-164 of the Map and Plat Records of Comal County, Texas, for the South corner of the 50.580 acre tract, for the East corner of the 50.00 acre tract, for the East corner of this 50.00 acre tract;

THENCE with the Northwest line of Lot 175, EDEN RANCH SECTION 5, with the Southeast line of the 50.00 acre tract, S. 50° 12' 46" W. 90.68 feet to a 3/4" iron pipe found, and S. 50° 30' 50" W. 320.10 feet to a 1/2" re-bar rod found for the West corner of Lot 175, for the North corner of Lot 174, EDEN RANCH SECTION 5;

THENCE with the Northwest line of Lot 174, with the Southeast line of the 50.00 acre tract, S. 50° 25' 53" W. 519.23 feet to a 1/2" re-bar rod found for the West corner of Lot 174, for the North corner of Lot 173, EDEN RANCH SECTION 5;

THENCE with the Northwest line of Lot 173, with the Southeast line of the 50.00 acre tract, S. 50° 30' 34" W. 136.65 feet to a 3/4" iron pipe found, and S. 50° 12' 44" W. 135.32 feet to a 1/2" iron pipe found for the East corner of a 50.076 acre tract conveyed by Dan E. Franklin, et al to Gregory N. Meyers, et al by deed dated September 9, 1985 and recorded in Volume 473 on pages 584-

50.00 ACRE TRACT, PAGE 2.

590 of the Official Public Records of Comal County, Texas, for the South corner of the 50.00 acre tract, for the South corner of this 50.00 acre tract.

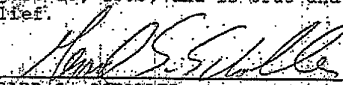
THENCE with the Northeast line of the 50.076 acre tract, with the Southwest line of the 50.00 acre tract, as follows:

N. 44° 09' 58" W. 1,170.70 feet to a 3/4" iron pipe found,
 N. 65° 22' 17" W. 127.47 feet to a 1/2" re-bar rod found,
 N. 17° 52' 27" W. 131.05 feet to a 3/4" iron pipe found,
 N. 70° 02' 07" W. 240.34 feet to a 1/2" re-bar rod found, and
 N. 05° 55' 34" W. 134.18 feet to a 3/4" iron pipe found for a corner of the 50.076 acre tract, for a corner of the 50.00 acre tract, for a corner of a tract conveyed by Richard N. Clarence, Trustee and Rocky Romano to Karl J. Amelang by deed dated December 20, 1979 and recorded in Volume 290 on pages 565-585 of the Deed Records of Comal County, Texas, for a corner of this 50.00 acre tract;

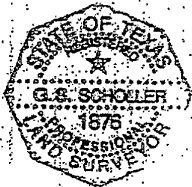
THENCE with a Southeast line of the Karl J. Amelang tract, with a Northwest line of the 50.00 acre tract, N. 29° 36' 05" E. 110.26 feet to a 3/4" iron pipe found, for the South corner of the aforesaid Faber 319.900 acre tract, for the East corner of the Karl J. Amelang tract, for a corner of the 50.00 acre tract, for a corner of this 50.00 acre tract;

THENCE with the Southeast line of the Faber 319.900 acre tract, with the Northwest line of the 50.00 acre tract, N. 45° 45' 21" E. 1,098.69 feet to the Place of Beginning.

I hereby state that this survey was made on the ground and completed on August 28, 2003, and is true and correct to the best of my knowledge and belief.


 GERARD S. SCHOLLER
 R.P.L.S. 1876

Doc# 200306032965
 # Pages 3
 03/08/2003 12:43:27 PM
 Filed & Recorded in
 Official Records of
 COMAL COUNTY
 JOY STREETER
 COUNTY CLERK
 Fees \$18.00



Doc# 200306032965

EXHIBIT "B"

One acre of land, being a portion of the C. E. Border Survey #959 in Comal County, and being the most northeastern portion of a 4.98 access easement tract commencing at a fence corner post on the southwest line of the New Braunfels-Blanco Road (Purgatory Road), in the southeast line of Wm. M. Hamlin Survey #877, and in a northwest line of the C. E. Border Survey #959 in Comal County, Texas, and from which post an old rock mound which is the east corner of the Wm. M. Hamlin Survey #877 and which is supported by its original bearing tree, (a 30" Live Oak which bears

S 28° 00' W 149.4 feet), bears N 45° 44' E 507.2 feet, said commencing fence post being the most easterly north corner of that 1274.1 acre tract, a portion of the James T. Murphy Survey #24 and others in Comal County, Texas, as described in deed to Ernest E. Allen, Jr., Trustee, as recorded in Volume 201, page 879, Comal County Deed Records; said fence corner post being the most northerly corner of a 4.98 acre access easement tract;

THENCE with the southwest line of the New Braunfels-Blanco Road, being also the most easterly northeast line of the said 1274.1 acre tract, and being with the northeast line of the said 4.98 acre easement, courses numbered 1-2 inclusive, as follows:

- (1) S 37° 03' E 85.8 feet to an iron stake;
- (2) S 38° 20' E 17.0 feet to a 60d nail in concrete at corner of fence, for the most easterly corner of the 1274.1 acre tract, and being the east corner of the said 4.98 acre easement;

THENCE with a fence along the southeast line of the 1274.1 ac. Tract, and the southeast line of the 4.98 acre easement, S 45° 50' W 423.7354 feet;

THENCE N 45° W 102.8 feet to a point in an old fence line being in the northwest line of said 4.98 acre easement tract;

THENCE with the average of an old fence line along the northwest line of the said Border Survey N 45° 44' E 423.7354 feet to the place of beginning.

Filed and Recorded
Official Public Records
Bobbie Koepp, County Clerk
Comal County, Texas
12/30/2021 10:34:38 AM
CHRISTY 7 Pages(s)
202106066525



Bobbie Koepp

2172430

Independence Title/GF# _____-DRP/MFB

General Warranty Deed

NOTICE OF CONFIDENTIALITY RIGHTS

IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: December 29 2021

Grantor: Gregory A. Stuart and spouse, Nancy R. Stuart

Grantor's Mailing Address: X 754 W. Edgewater TER, New Braunfels, TX 78130

Grantee: 1401 Estrellita, LLC, a Texas limited liability company

Grantee's Mailing Address: 1401 Estrellita Ranch Rd. c/o Erin N Tuggle, manager 100 Congress Ave # 1100 Austin TX 78701

Consideration: Cash and other good and valuable consideration.

Property (including any improvements):

Tract 1: Being 50.00 acres of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and made a part hereof.

Tract 2: Being 1.00 acre of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "B" attached hereto and made a part hereof.

Tract 3: Non-Exclusive Easement Estate for ingress and egress, as set out in Volume 303, Page 38 and Volume 876, Page 541, Deed Records, Comal County, Texas.

Reservations from Conveyance: None

Exceptions to Conveyance and Warranty:

Liens described as part of the Consideration and any other liens described in this deed as being either assumed or subject to which title is taken; validly existing easements, rights-of-way, and prescriptive rights, whether of record or not; all presently recorded and validly existing restrictions, reservations, covenants, conditions, oil and gas leases, mineral

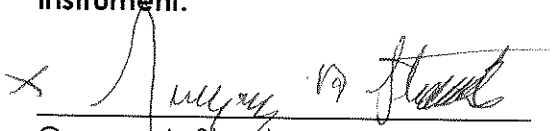
interests outstanding in persons other than Grantor, and other instruments, other than conveyances of the surface fee estate, that affect the Property; validly existing rights of adjoining owners in any walls and fences situated on a common boundary; any discrepancies, conflicts, or shortages in area or boundary lines; any encroachments or overlapping of improvements; all rights, obligations, and other matters arising from and existing by reason of any water, utility, road, or improvement districts which affect the Property; standby fees, taxes, and assessments by any taxing authority for the current year, which Grantee assumes and agrees to pay, and subsequent assessments for that and prior years due to change in land usage, ownership, or both, the payment of which Grantee also assumes.

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When the context requires, singular nouns and pronouns include the plural.

NOTICE: This instrument was prepared by Hancock McGill & Bleau, LLLP (HMB) at the request of Independence Title or the parties using information provided by the title company and the parties. Unless we have been provided with a copy of any contracts related to this transaction or been informed of any reservations required by the Grantor, the reservations will not be included in this warranty deed and by accepting this deed, all parties release HMB from any liability resulting from the failure to include undisclosed reservations. We have not investigated or verified information provided to us and do not warrant the validity of the information or quality of title to the real estate described above. **We do not represent the parties named in this instrument. The parties should seek independent legal counsel for advice concerning the effect and consequences of this instrument.**

X 

Gregory A. Stuart

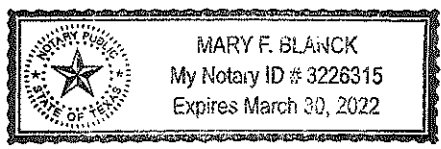
X 

Nancy R. Stuart

State of TEXAS
County of HAYS

This document was acknowledged before me on December 28, 2021 by Gregory A. Stuart.

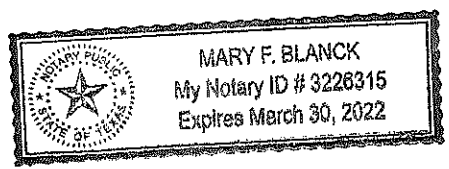
[Signature]
Notary Public, State of TEXAS



State of TEXAS
County of HAYS

This document was acknowledged before me on December 27 2021 by Nancy R. Stuart.

[Signature]
Notary Public, State of TEXAS



Prepared By:
Hancock McGill & Bleau, L.L.L.P.
Attorneys at Law
File No.2172430-sw

After Recording Return To:

EXHIBIT "A"

Tract 1:

Being 50.00 acres of land, more or less, out of the Mrs. C.E. Border Survey No. 959, Abstract No. 896, Comal County, Texas, and being more particularly described by metes and bounds in Exhibit "A" attached hereto and made a part hereof.

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The Company is prohibited from insuring the area or quantity of the land described herein. Therefore, the Company does not represent that the acreage or square footage calculations are correct and references to the quantity are for informational purposes only.

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Being a 50.000 acre tract of land out of the Mrs. C. E. Border Survey No. 959, Abstract 896, Comal County, Texas, and being all of that certain 50.00 acre tract conveyed by Denise Marie Dunn Graves to Ron Graves by Special Warranty Deed dated July 5, 2001 and recorded as Document No. 20030609660 of the Official Public Records of Comal County, Texas, and described more particularly by metes and bounds as follows:

BEGINNING at a 1/2" re-bar rod found in the Southeast line of a 319.900 acre tract conveyed by George P. Faber to Sally Stell Faber by deed dated September 29, 1951 and recorded in Volume 97 on page 245 of the Deed Records of Comal County, Texas, for the West corner of a 50.580 acre tract conveyed by James Kenyon White to Thomas A. Curtis, Substitute Trustee for: Michael D. Sadler & wife, Peggy B. Sadler by deed dated February 4, 1992 and recorded in Volume 803 on pages 831-836 of the Official Public Records of Comal County, Texas, for the North corner of the above cited 50.00 acre tract, for the North corner of the herein described 50.00 acre tract;

THENCE with the Southwest line of the Sadler 50.580 acre tract, with the Northeast line of the said 50.00 acre tract, S. 44° 10' 46" E. 1,857.06 feet to a 3/4" iron pipe found in the Northwest line of Lot 175, EDEN RANCH SECTION 5, plat recorded in Volume 9 on pages 160-164 of the Map and Plat Records of Comal County, Texas, for the South corner of the 50.580 acre tract, for the East corner of the 50.00 acre tract, for the East corner of this 50.00 acre tract;

THENCE with the Northwest line of Lot 175, EDEN RANCH SECTION 5, with the Southeast line of the 50.00 acre tract, S. 50° 12' 46" W. 90.68 feet to a 3/4" iron pipe found, and S. 50° 30' 50" W. 320.10 feet to a 1/2" re-bar rod found for the West corner of Lot 175, for the North corner of Lot 174, EDEN RANCH SECTION 5;

THENCE with the Northwest line of Lot 174, with the Southeast line of the 50.00 acre tract, S. 50° 26' 53" W. 519.23 feet to a 1/2" re-bar rod found for the West corner of Lot 174, for the North corner of Lot 173, EDEN RANCH SECTION 5;

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50.00 ACRE TRACT, PAGE 2.

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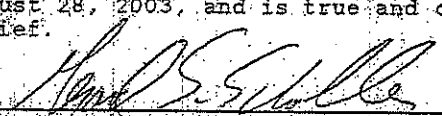
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 N. 65° 22' 17" W. 127.47 feet to a 1/2" re-bar rod found,
 N. 17° 52' 27" W. 131.06 feet to a 3/4" iron pipe found,
 N. 70° 02' 07" W. 240.34 feet to a 1/2" re-bar rod found, and
 N. 05° 55' 34" W. 134.19 feet to a 3/4" iron pipe found for a corner of the 50.076 acre tract, for a corner of the 50.00 acre tract, for a corner of a tract conveyed by Richard N. Clarence, Trustee and Rocky Romano to Karl J. Amelang by deed dated December 20, 1979 and recorded in Volume 290 on pages 565-585 of the Deed Records of Comal County, Texas, for a corner of this 50.00 acre tract;

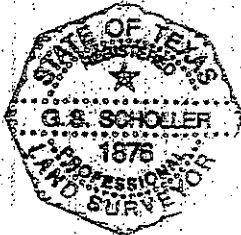
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THENCE with the Southeast line of the Faber 319.900 acre tract, with the Northwest line of the 50.00 acre tract, N. 45° 45' 21" E. 1,098.69 feet to the Place of Beginning.

I hereby state that this survey was made on the ground and completed on August 28, 2003, and is true and correct to the best of my knowledge and belief.


 GERARD S. SCHOLLER
 R.P.L.S. 1876

Doc# 200306032965
 # Pages 3
 08/28/2003 02:42:27 PM
 Filed & Recorded in
 Official Records of
 COMAL COUNTY
 JOY STREATER
 COUNTY CLERK
 Fees \$18.00



Doc# 200306032965

EXHIBIT "B"

One acre of land, being a portion of the C. E. Border Survey #859 in Comal County, and being the most northeastern portion of a 4.98 acre easement tract commencing at a fence corner post on the southwest line of the New Braunfels-Blanco Road (Purgatory Road), in the southeast line of Wm. M. Hamlin Survey #677, and in a northwest line of the C. E. Border Survey #859 in Comal County, Texas, and from which post an old rock mound which is the east corner of the Wm. M. Hamlin Survey #677 and which is supported by its original bearing tree, (a 30" Live Oak which bears

S 28° 00' W 149.4 feet), bears N 45° 44' E 507.2 feet, said commencing fence post being the most easterly north corner of that 1274.1 acre tract, a portion of the James T. Murphy Survey #24 and others in Comal County, Texas, as described in deed to Ernest E. Allen, Jr., Trustee, as recorded in Volume 201, page 879, Comal County Deed Records; said fence corner post being the most northerly corner of a 4.98 acre access easement tract;

THENCE with the southwest line of the New Braunfels-Blanco Road, being also the most easterly northeast line of the said 1274.1 acre tract, and being with the northeast line of the said 4.98 acre easement, courses numbered 1-2 inclusive, as follows:

- (1) S 37° 03' E 85.8 feet to an iron stake;
- (2) S 38° 20' E 17.0 feet to a 60d nail in concrete at corner of fence, for the most easterly corner of the 1274.1 acre tract, and being the east corner of the said 4.98 acre easement;

THENCE with a fence along the southeast line of the 1274.1 ac. Tract, and the southeast line of the 4.98 acre easement, S 45° 50' W 423.7354 feet;

THENCE N 45° W 102.8 feet to a point in an old fence line being in the northwest line of said 4.98 acre easement tract;

THENCE with the average of an old fence line along the northwest line of the said Border Survey N 45° 44' E 423.7354 feet to the place of beginning.



COMAL COUNTY

ENGINEER'S OFFICE

OSSF DEVELOPMENT APPLICATION
CHECKLIST

Staff will complete shaded items

--	--

Date Received

Initials

116651

Permit Number

Instructions:

Place a check mark next to all items that apply. For items that do not apply, place "N/A". This OSSF Development Application Checklist **must** accompany the completed application.

OSSF Permit

- ☒ Completed Application for Permit for Authorization to Construct an On-Site Sewage Facility and License to Operate
- ☒ Site/Soil Evaluation Completed by a Certified Site Evaluator or a Professional Engineer
- ☐ Planning Materials of the OSSF as Required by the TCEQ Rules for OSSF Chapter 285. Planning Materials shall consist of a scaled design and all system specifications.
- ☒ Required Permit Fee - See Attached Fee Schedule
- ☒ Copy of Recorded Deed
- ☒ Surface Application/Aerobic Treatment System
- ☒ Recorded Certification of OSSF Requiring Maintenance/Affidavit to the Public
- ☒ Signed Maintenance Contract with Effective Date as Issuance of License to Operate

I affirm that I have provided all information required for my OSSF Development Application and that this application constitutes a completed OSSF Development Application.

Signature of Applicant

6/26/23

Date

___ COMPLETE APPLICATION

Check No. _____ Receipt No. _____

INCOMPLETE APPLICATION

___ (Missing Items Circled, Application Refused)

Block Creek Aerobic Services, LLC

444 A Old Hwy No 9
Comfort, TX 78013

(830) 995-3189

Printed:9/20/2024

Permit: 116651

Site: 1401 Estrellito, Canyon Lake, TX 78133

Cell Phone: 5125743669

Tim Norris
1401 Estrellito
Canyon Lake, TX 78133

County: Comal

System Info: MFG: Advantage Waste Water LLC Brand: Nu Water

Customer ID: 9286

Treatment Type: Aerobic With Chlorine Disposal Type: Surface Application

Insp ID: 163678

Installed: 11/29/2023

Warranty Expiration: 11/29/2025

Visit Details

Visit Date: 9/20/2024

Entered By: Ronnie W Krampota

GPS Lat: 29.883128 GPS Long: -98.129579

Scheduled Date: 12/20/2024

Time In: 1100am

Contract Starts: 8/20/2024

Entered On: 9/20/2024

Time Out: 1115am

Contract Ends: 8/20/2026

Visit Results

Service Type: Customer Request

Method: Grab

License #

Expires

Technician: Ronnie W Krampota

MT0001175

10/31/2026

Provider: Rudy Carson

MP0002036

11/30/2025

☒ Service Completed

Aerators: Operational

Filters: Operational

Irrigation Pumps: Operational

Disinfection Device: Operational

Chlorine Supply: Operational

Floats: OP

Timer: OP

Tank Lid / Riser: Secured

Electric Circuits: Operational

Distribution System: Operational

Drip/Sprayfield Veg: Operational

Alarm: Operational

Comments

- Technician Secured the Tank Lid and/or Riser prior to leaving location. - Secured system in the on position with a lock bolt - Yellow light on and off - Checked the compressor, air switch and air alarm tubing and found no issues - Found that the defussers were clogged - Acid washed the defusers and the system is now aerating - System is fully op. at this time

Provider:

Rudy Carson

License: Number: MP0002036 Exp: 11/30/2025

Technician: Ronnie W Krampota

License: Number: MT0001175 Exp: 10/31/2026



Block Creek Aerobic Services, LLC

444 A Old Hwy No 9
Comfort, TX 78013

(830) 995-3189

Cell Phone: (512) 574-3669

Tim Norris

1401 Estrellito
Canyon Lake, TX 78133

County: Comal

Site Address: 1401 Estrellito, Canyon Lake Permit #: 116651

System Info: MFG: Advantage Waste Water LLC Brand: Nu Water

ID: 9286

Treatment Type: Aerobic With Chlorine Disposal Type: Surface Application

Insp ID: 167877

Installed: 11/29/2023 Warranty Expiration: 11/29/2025

Visit Details

Visit Date: 12/23/2024

Entered By: Kaleb Hernandez

GPS Lat: 29.883128 GPS Long: -98.129579

Scheduled Date: 12/20/2024

Time In: 940

Contract Starts: 8/20/2024

Entered On: 12/23/2024

Time Out: 1003

Contract Ends: 8/20/2026

Visit Results

Service Type: Scheduled Inspection

Printed: 12/23/2024

Count: Inspection 1 of 6

Method: Grab

License #

Expires

Technician: Kaleb Hernandez

MT0002671

1/31/2027

Provider: Rudy Carson

MP0002036

11/30/2025

☒ Service Completed

Aerators: Operational

Sludge Level Tank 1: 0"

Filters: Operational

Sludge Level Tank 2: 0"

Irrigation Pumps: Operational

Sludge Level Tank 3: 0"

Disinfection Device: Operational

Floats: OP

Timer: OP

Chlorine Supply: Operational

Chlorine Residual: 1

Air Filter: Good

Turbidity: Good

Electric Circuits: Operational

Tank Lid / Riser: Secured

Distribution System: Operational

Color: Good

Drip/Sprayfield Veg: Operational

Odor: Good

Alarm: Operational

Comments

- Scum in pretreatment is 0" - Cleaned compressor filter - Technician Secured the Tank Lid and/or Riser prior to leaving location.

Provider:

Rudy Carson

Technician: Kaleb Hernandez

License: Number: MP0002036 Exp: 11/30/2025

License: Number: MT0002671 Exp: 1/31/2027