

Comal County Environmental Health

OSSF Inspection Sheet

Installer Name: _____

OSSF Installer #: _____

1st Inspection Date: _____

2nd Inspection Date: _____

3rd Inspection Date: _____

Inspector Name: _____

Inspector Name: _____

Inspector Name: _____

Permit#:

Address:

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
1	SITE AND SOIL CONDITIONS & SETBACK DISTANCES Site and Soil Conditions Consistent with Submitted Planning Materials		285.31(a) 285.30(b)(1)(A)(iv) 285.30(b)(1)(A)(v) 285.30(b)(1)(A)(iii) 285.30(b)(1)(A)(ii) 285.30(b)(1)(A)(i)				
2	SITE AND SOIL CONDITIONS & SETBACK DISTANCES Setback Distances Meet Minimum Standards		285.91(10) 285.30(b)(4) 285.31(d)				
3	SEWER PIPE Proper Type Pipe from Structure to Disposal System (Cast Iron, Ductile Iron, Sch. 40, SDR 26)		285.32(a)(1)				
4	SEWER PIPE Slope from the Sewer to the Tank at least 1/8 Inch Per Foot		285.32(a)(3)				
5	SEWER PIPE Two Way Sanitary - Type Cleanout Properly Installed (Add. C/O Every 100' &/or 90 degree bends)		285.32(a)(5)				
6	PRETREATMENT Installed (if required) TCEQ Approved List PRETREATMENT Septic Tank(s) Meet Minimum Requirements		285.32(b)(1)(G) 285.32(b)(1)(E)(iii) 285.32(b)(1)(E)(iv) 285.32(b)(1)(F) 285.32(b)(1)(B) 285.32(b)(1)(C)(i) 285.32(b)(1)(C)(ii) 285.32(b)(1)(D) 285.32(b)(1)(E) 285.32(b)(1)(A) 285.32(b)(1)(E)(ii)(II) 285.32(b)(1)(E)(i) 285.32(b)(1)(E)(ii)(I)				
7	PRETREATMENT Grease Interceptors if required for commercial		285.34(d)				

Inspector Notes:

**Comal County Environmental Health
OSSF Inspection Sheet**

No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
8	SEPTIC TANK Tank(s) Clearly Marked SEPTIC TANK If Single Tank, 2 Compartments Provided with Baffle SEPTIC TANK Inlet Flowline Greater than 3" and " T " Provided on Inlet and Outlet SEPTIC TANK Septic Tank(s) Meet Minimum Requirements		285.32(b)(1) (E) 285.91(2) 285.32(b)(1) (F) 285.32(b)(1)(E) (iii) 285.32(b)(1)(E)(ii) (II) 285.32(b)(1)(E)(ii) (I) 285.32(b)(1)(E) (i) 285.32(b)(1) (D) 285.32(b)(1)(C) (ii) 285.32(b)(1)(C) (i) 285.32(b)(1) (B) 285.32(b)(1) (A) 285.32(b)(1)(E)(iv)				
9	ALL TANKS Installed on 4" Sand Cushion/ Proper Backfill Used		285.32(b)(1)(F) 285.32(b)(1)(G) 285.34(b)				
10	SEPTIC TANK Inspection / Clean Out Port & Risers Provided on Tanks Buried Greater than 12" Sealed and Capped		285.38(d)				
11	SEPTIC TANK Secondary restraint system provided SEPTIC TANK Riser permanently fastened to lid or cast into tank SEPTIC TANK Riser cap protected against unauthorized intrusions		285.38(d) 285.38(e)				
12	SEPTIC TANK Tank Volume Installed						
13	PUMP TANK Volume Installed						
14	AEROBIC TREATMENT UNIT Size Installed						
15	AEROBIC TREATMENT UNIT Manufacturer AEROBIC TREATMENT UNIT Model Number						
16	DISPOSAL SYSTEM Absorptive		285.33(a)(4) 285.33(a)(1) 285.33(a)(2) 285.33(a)(3)				
17	DISPOSAL SYSTEM Leaching Chamber		285.33(a)(1) 285.33(a)(3) 285.33(a)(4) 285.33(a)(2)				
18	DISPOSAL SYSTEM Drip Irrigation		285.33(c)(3)(A)-(F)				

**Comal County Environmental Health
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No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
32	EFFLUENT DISPOSAL SYSTEM Utilized Only by Single Family Dwelling EFFLUENT DISPOSAL SYSTEM Topographic Slopes < 2.0% EFFLUENT DISPOSAL SYSTEM Adequate Length of Drain Field (1000 Linear ft. for 2 bedrooms or Less & an additional 400 ft. for each additional bedroom) EFFLUENT DISPOSAL SYSTEM Lateral Depth of 18 inches to 3 ft. & Vertical Separation of 1ft on bottom and 2 ft. to restrictive horizon and ground water respectfully EFFLUENT DISPOSAL SYSTEM Lateral Drain Pipe (1.25 - 1.5" dia.) & Pipe Holes (3/16 - 1/4" dia. Hole Size) 5 ft. Apart		285.33(b)(3)(A) 285.33(b)(3)(A) 285.33(b)(3)(B)285.91(13) 285.33(b)(3)(D) 285.33(b)(3)(F)				
33	AEROBIC TREATMENT UNIT Is Aerobic Unit Installed According to Approved Guidelines.		285.32(c)(1)				
34	AEROBIC TREATMENT UNIT Inspection/Clean Out Port & Risers Provided AEROBIC TREATMENT UNIT Secondary restraint system provided AEROBIC TREATMENT UNIT Riser permanently fastened to lid or cast into tank AEROBIC TREATMENT UNIT Riser cap protected against unauthorized intrusions						
35	AEROBIC TREATMENT UNIT Chlorinator Properly Installed with Chlorine Tablets in Place.						
36	PUMP TANK Is the Pump Tank an approved concrete tank or other acceptable materials & construction PUMP TANK Sampling Port Provided in the Treated Effluent Line PUMP TANK Check Valve and/or Anti- Siphon Device Present When Required PUMP TANK Audible and Visual High Water Alarm Installed on Separate Circuit From Pump						
37	PUMP TANK Inspection/Clean Out Port & Risers Provided PUMP TANK Secondary restraint system provided PUMP TANK Riser permanently fastened to lid or cast into tank PUMP TANK Riser cap protected against unauthorized intrusions						
38	PUMP TANK Secondary restraint system provided						
39	PUMP TANK Electrical Connections in Approved Junction Boxes / Wiring Buried						

**Comal County Environmental Health
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No.	Description	Answer	Citations	Notes	1st Insp.	2nd Insp.	3rd Insp.
40	APPLICATION AREA Distribution Pipe, Fitting, Sprinkler Heads & Valve Covers Color Coded Purple?		285.33(d)(2)(G)(iii)(II) 285.33(d)(2)(G)(iii)(III) 285.33(d)(2)(G)(v) 285.33(d)(2)(G)(iii) 285.33(d)(2)(G)(iv) 285.33(d)(2)(G)(i) 285.33(d)(2)(G)(ii) 285.33(d)(2)(G)(iii)(I)				
41	APPLICATION AREA Low Angle Nozzles Used / Pressure is as required APPLICATION AREA Acceptable Area, nothing within 10 ft of sprinkler heads? APPLICATION AREA The Landscape Plan is as Designed		285.33(d)(2)(G) (i)285.33(d)(2) (A)285.33(d)(2)(F)				
42	APPLICATION AREA Area Installed						
43	PUMP TANK Meets Minimum Reserve Capacity Requirements						
44	PUMP TANK Material Type & Manufacturer						
45	PUMP TANK Type/Size of Pump Installed						



COMAL COUNTY

ENGINEER'S OFFICE

Permit of Authorization to Construct an On-Site Sewage Facility Permit Valid For One Year From Date Issued

Permit Number: 118937
Issued This Date: 09/15/2025
This permit is hereby given to: Toby Triesch

To start construction of a private, on-site sewage facility located at:

1667 HALLMARK
CANYON LAKE, TX 78133

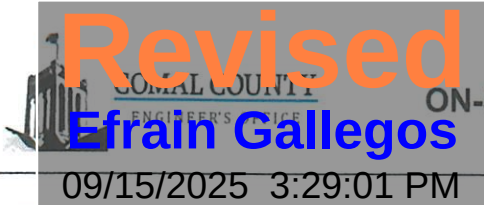
Subdivision: ABS 795
Unit: -
Lot: -
Block: -
Acreage: 1.0700

APPROVED MINIMUM SIZES AS PER ATTACHED DESIGN

Type of System: Aerobic
Drip Irrigation

This permit gives permission for the construction of the above referenced on-site facility to commence. Installation must be completed by an installer holding a valid registration card from the Texas Commission on Environmental Quality (TCEQ). Installation and inspection must comply with current TCEQ and Comal County requirements.

Call (830) 608-2090 to schedule inspections.



ON-SITE SEWAGE FACILITY APPLICATION

195 DAVID JONAS DR
NEW BRAUNFELS, TX 78132
(830) 608-2090
WWW.CCEO.ORG

Date 09/15/2025 3:29:01 PM

Permit Number 118937

1. APPLICANT / AGENT INFORMATION

Owner Name Toby Shawn Triesch
Mailing Address 1667 Hallmark
City, State, Zip Canyon Lake, TX 78133
Phone # _____
Email _____

Agent Name ANDREA DOWLEARN
Agent Address PO BOX 212
City, State, Zip Bulverde, TX 78163
Phone # 210-878-8100
Email TXSEPTIC@GMAIL.COM

2. LOCATION

Subdivision Name _____ Unit _____ Lot _____ Block _____
Survey Name / Abstract Number BEATY SEALE AND FORWOOD SUR 909, ABSTRACT 795 Acreage 1.065
Address 1667 Hallmark City Canyon Lake State TX Zip 78133

3. TYPE OF DEVELOPMENT

☒ Single Family Residential

Type of Construction (House, Mobile, RV, Etc.) Casita

Number of Bedrooms 2

Indicate Sq Ft of Living Area 820

☐ Non-Single Family Residential

(Planning materials must show adequate land area for doubling the required land needed for treatment units and disposal area)

Type of Facility _____

Offices, Factories, Churches, Schools, Parks, Etc. - Indicate Number Of Occupants _____

Restaurants, Lounges, Theaters - Indicate Number of Seats _____

Hotel, Motel, Hospital, Nursing Home - Indicate Number of Beds _____

Travel Trailer/RV Parks - Indicate Number of Spaces _____

Miscellaneous _____

Estimated Cost of Construction: \$ _____ (Structure Only)

Is any portion of the proposed OSSF located in the United States Army Corps of Engineers (USACE) flowage easement?

☐ Yes ☒ No (If yes, owner must provide approval from USACE for proposed OSSF improvements within the USACE flowage easement)

Source of Water ☒ Public ☐ Private Well ☐ Rainwater

4. SIGNATURE OF OWNER

By signing this application, I certify that:

- The completed application and all additional information submitted does not contain any false information and does not conceal any material facts. I certify that I am the property owner or I possess the appropriate land rights necessary to make the permitted improvements on said property.
- Authorization is hereby given to the permitting authority and designated agents to enter upon the above described property for the purpose of site/soil evaluation and inspection of private sewage facilities..
- I understand that a permit of authorization to construct will not be issued until the Floodplain Administrator has performed the reviews required by the Comal County Flood Damage Prevention Order.
- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

Efrain Gallegos
Signature of Owner

8/13/25
Date



ON-SITE SEWAGE FACILITY APPLICATION

195 DAVID JONAS DR
NEW BRAUNFELS, TX 78132
(830) 608-2090
WWW.CCEO.ORG

09/15/2025 3:29:41 PM

Planning Materials & Site Evaluation as Required Completed By _____

System Description _____

Size of Septic System Required Based on Planning Materials & Soil Evaluation

Tank Size(s) (Gallons) _____ Absorption/Application Area (Sq Ft) _____

Gallons Per Day (As Per TCEQ Table III) _____

(Sites generating more than 5000 gallons per day are required to obtain a permit through TCEQ.)

Is the property located over the Edwards Recharge Zone? ☐ Yes ☐ No

(If yes, the planning materials must be completed by a Registered Sanitarian (R.S.) or Professional Engineer (P.E.))

Is there an existing TCEQ approved WPAP for the property? ☐ Yes ☐ No

(If yes, the R.S. or P.E. shall certify that the OSSF design complies with all provisions of the existing WPAP.)

Is there at least one acre per single family dwelling as per 285.40(c)(1)? ☐ Yes ☐ No

If there is no existing WPAP, does the proposed development activity require a TCEQ approved WPAP? ☐ Yes ☐ No

(If yes, the R.S. or P.E. shall certify that the OSSF design will comply with all provisions of the proposed WPAP. A Permit to Construct will not be issued for the proposed OSSF until the proposed WPAP has been approved by the appropriate regional office.)

Is the property located over the Edwards Contributing Zone? ☐ Yes ☐ No

Is there an existing TCEQ approval CZP for the property? ☐ Yes ☐ No

(If yes, the P.E. or R.S. shall certify that the OSSF design complies with all provisions of the existing CZP.)

If there is no existing CZP, does the proposed development activity require a TCEQ approved CZP? ☐ Yes ☐ No

(If yes, the R.S. or P.E. shall certify that the OSSF design will comply with all provisions of the proposed CZP. A Permit to Construct will not be issued for the proposed OSSF until the CZP has been approved by the appropriate regional office.)

Is this property within an incorporated city? ☐ Yes ☐ No

If yes, indicate the city: _____

By signing this application, I certify that:

- The information provided above is true and correct to the best of my knowledge.

- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

Andrea Jeanne Dowleau

Signature of Designer

Date

3/CS

COUNTY OF COMAL
STATE OF TEXAS



202506025932 08/14/2025 02:55:52 PM 1/3

AFFIDAVIT TO THE PUBLIC

CERTIFICATION OF OSSF REQUIRING MAINTENANCE

According to Texas Commission on Environmental Quality (TCEQ) Rules for On-Site Sewage Facilities (OSSFs), this document is filed in the Deed Records of Comal County, Texas.

I
The Texas Health and Safety Code, Chapter 366 authorizes the Texas Commission on Environmental Quality (TCEQ) to regulate on-site sewage facilities (OSSFs). Additionally, the Texas Water Code (TWC), § 5.012 and § 5.013, give the commission primary responsibility for implementing the laws of the State of Texas relating to water and adopting rules necessary to carry out its powers and duties under the TWC. The commission, under the authority of the TWC and the Texas Health and Safety Code, requires owners to provide notice to the public that certain types of OSSFs are located on specific pieces of property. To achieve this notice, the commission requires a recorded affidavit. Additionally, the owner must provide proof of the recording to the OSSF permitting authority. This recorded affidavit is not a representation or warranty by the commission of the suitability of this OSSF, nor does it constitute any guarantee by the commission that the appropriate OSSF was installed.

II
An OSSF requiring a maintenance contract, according to 30 Texas Administrative Code § 285.91 (12) will be installed on the property described as (insert legal description):

See attached "Exhibit A"

The property is owned by (Insert owner's full name):

Toby Shawn Triesch

This OSSF must be covered by a continuous maintenance contract for the first two years. After the initial two-year service policy, the owner of an aerobic treatment system for a single family residence shall either obtain a maintenance contract within 30 days or maintain the system personally.

Upon sale or transfer of the above described property, the permit for the OSSF shall be transferred to the buyer or new owner. A copy of the planning materials for OSSF may be obtained from Comal County Engineer's Office.

WITNESS BY HAND(S) ON THIS 13th DAY OF August 2025

Toby Shawn Triesch
Owner(s) signature(s)

Toby Shaw Triesch
(PRINTED NAME) /TITLE

SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 13th DAY OF August 2025

Tiffany J Hodge
Notary Public, State of Texas
Notary's Printed Name: Tiffany J Hodge
My Commission Expires: 03/24/2029



EXHIBIT "A"

BEING 1.065 ACRES OF LAND, CALLED TRACT 2, SITUATED WITHIN THE BEATY SEALE AND FORWOOD SURVEY NUMBER 909, ABSTRACT 795, COMAL COUNTY, TEXAS, SAID 1.065 ACRES OF LAND BEING THAT SAME PROPERTY AS DESCRIBED IN GENERAL WARRANTY DEED RESERVING VENDOR'S LIEN, DATED JUNE 9, 1969, GRANTOR: HANNO GUENTHER, GRANTEE: WM. HAL HODGES AND WIFE, LYNDALL R. HODGES RECORDED IN VOLUME 170, PAGE 691 OF THE DEED RECORDS OF COMAL COUNTY, TEXAS. A PLAT OF SURVEY HAS BEEN PREPARED TO ACCOMPANY THESE FIELD NOTES. THE BEARINGS RECITED HEREIN ARE BASED ON THE HEREIN ABOVE 1.065 ACRE TRACT OF LAND RECORDED IN VOLUME 170, PAGE 691 OF THE DEED RECORDS OF COMAL COUNTY, TEXAS. SAID 1.065 ACRES OF LAND, CALLED TRACT 2, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIN AT THE NORTHWEST CORNER OF INSPIRING VIEW AND HALLMARK BEING THE EAST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2;

THENCE WITH THE NORTHWEST RIGHT-OF-WAY OF HALLMARK, SOUTH 39°29'00" WEST, 99.83 FEET TO A FOUND IRON PIN;

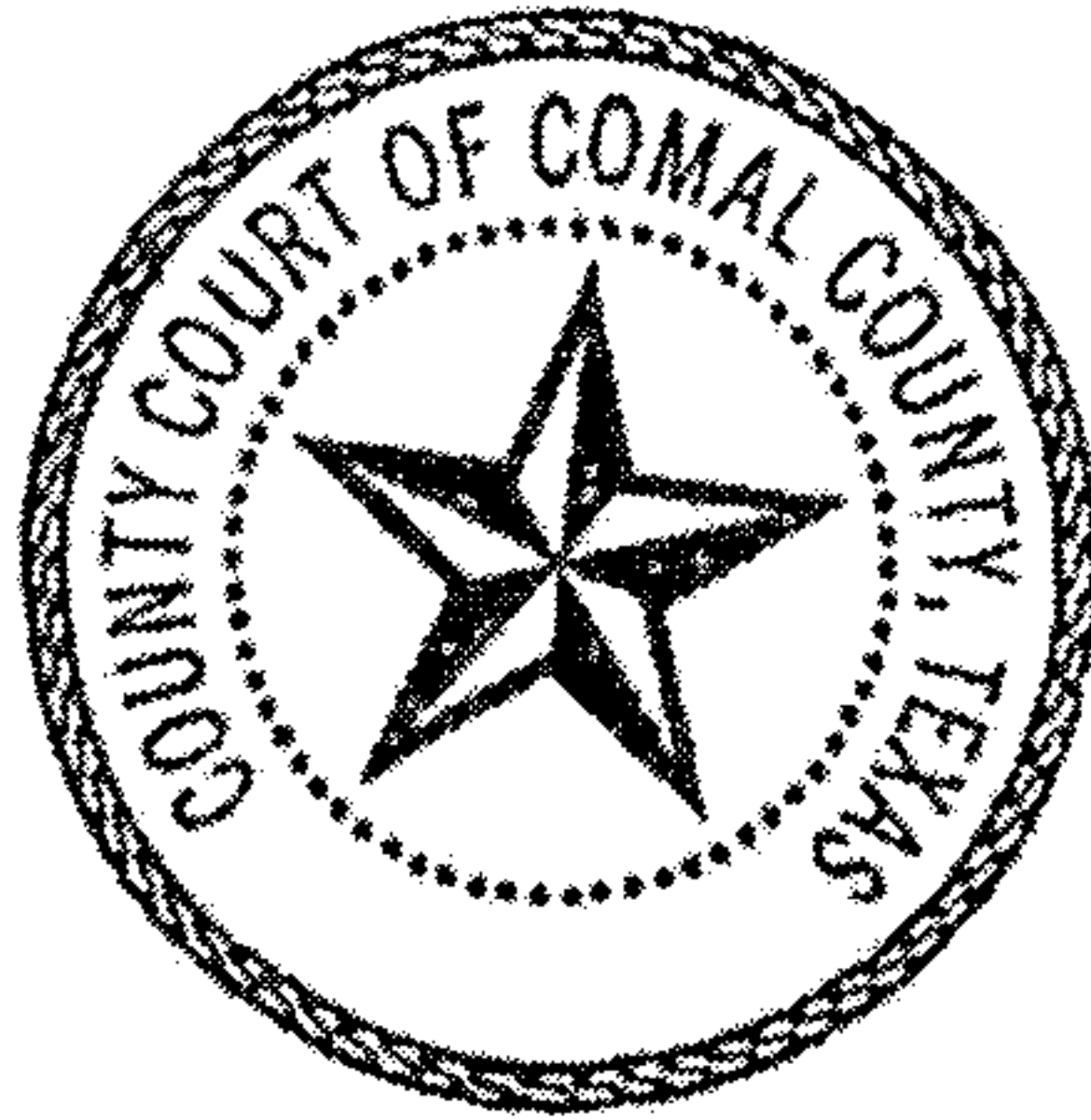
THENCE SOUTH 31°17'00" WEST, 108.16 FEET TO A FOUND IRON PIN BEING THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2 AND THE NORTHEAST CORNER OF A 1.761 ACRE TRACT OF LAND, CALLED TRACT 3, SURVEYED THIS DATE. SAID FOUND IRON PIN BEING ON THE NORTHEAST LINE OF A SIXTY (60) FOOT WIDE PRIVATE ROAD EASEMENT NO LONGER IN USE;

THENCE LEAVING THE NORTHWEST RIGHT-OF-WAY OF HALLMARK AND WITH THE NORTHEAST LINE OF THE SIXTY (60) FOOT PRIVATE ROAD EASEMENT, NORTH 63°08'30" WEST, 132.23 FEET TO A FOUND IRON PIN;

THENCE NORTH 32°37'00" WEST, AT 141.57 FEET CROSSING A SET IRON PIN BEING THE NORTH CORNER OF A 1.761 ACRE TRACT OF LAND, CALLED TRACT 3, SURVEYED THIS DATE, A TOTAL DISTANCE OF 150.11 FEET TO A FOUND IRON PIN BEING THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2, SAID FOUND IRON PIN ALSO BEING THE SOUTHWEST CORNER OF A 1.643 ACRE TRACT OF LAND, CALLED TRACT 1, SURVEYED THIS DATE;

THENCE LEAVING THE NORTHEAST LINE OF THE SIXTY (60) FOOT WIDE PRIVATE ROAD EASEMENT, AND WITH THE COMMON LINE OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2 AND THE 1.643 ACRE TRACT OF LAND, CALLED TRACT 1, NORTH 74°09'41" EAST, 274.15 FEET TO A SET IRON PIN ON THE WEST RIGHT-OF-WAY OF INSPIRING VIEW, SAID SET IRON PIN BEING THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND AND, CALLED TRACT 2 AND THE SOUTHEAST CORNER OF THE 1.643 ACRE TRACT OF LAND, CALLED TRACT 1;

THENCE LEAVING THE COMMON LINE OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND AND THE 1.643 ACRE TRACT OF LAND, AND WITH THE WEST RIGHT-OF-WAY OF INSPIRING VIEW, SOUTH 30°54'15" EAST 106.65 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.065 ACRES OF LAND IN COMAL COUNTY, TEXAS ACCORDING TO A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION ON AUGUST 20, 2008, BILL CALLENDER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4777.



This page has been added to comply with the statutory requirement that the clerk shall stamp the recording information at the bottom of the last page.

This page becomes part of the document identified by the file clerk number affixed on preceding pages.

Filed and Recorded
Official Public Records
Bobbie Koepp, County Clerk
Comal County, Texas
08/14/2025 02:55:52 PM
TERRI 3 Page(s)
202506025932



Bobbie Koepp

WASTEWATER TREATMENT FACILITY MONITORING AGREEMENT

Regulatory Authority _____
Block Creek Aerobic Services, LLC
444 A Old Hwy #9
Comfort, TX 78013
Off. (830) 995-3189
Fax. (830) 995-4051

Permit/License Number _____
Customer Toby Triesch
Site Address 1667 Hallmark Dr
City Canyon Lake Zip 78133
Mailing Address _____
County COMAL Map # _____
Phone (830) 554-0388
Email aquawheels@gmail.com

I. General: This Work for Hire Agreement (hereinafter referred to as "Agreement") is entered into by and between Toby Triesch (hereinafter referred to as "Customer") and Block Creek Aerobic Services, LLC. By this agreement, Block Creek Aerobic Services, LLC and its employees (hereinafter inclusively referred to as "Contractor") agree to render services at the site address stated above, as described herein, and the Customer agrees to fulfill his/her/their responsibilities, as described herein.

II. Effective Date:

This Agreement commences on Date LTO is Issued and ends on 2 yrs from Date of LTO for a total of two (2) years (initial agreement) or one (1) year (thereafter). If this is an initial agreement (new installation), the Customer shall notify the Contractor within two (2) business days of the system's first use to establish the date of commencement. If no notification is received by Contractor within ninety (90) days after completion of installation or where county authority mandates, the date of commencement will be the date the "License to operate" (Notice of Approval) was issued by the permitting authority. This agreement may or may not commence at the same time as any warranty period of installed equipment, but in no case shall it extend the specified warranty.

III. Termination of Agreement:

This Agreement may be terminated by either party for any reason, including for example, substantial failure of either party to perform in accordance with the terms of this Agreement, without fault or liability of the terminating party. The terminating party must provide written notice to the non-terminating party thirty (30) days prior to the termination of this Agreement. If this Agreement is terminated, Contractor will be paid at the rate of \$75.00 per hour for any work performed and for which compensation has not been received. After the deduction of all outstanding charges, any remaining monies from prepayment for services will be refunded to customer within thirty (30) days of termination of this Agreement. Either party terminating this Agreement for any reason, including non-renewal, shall notify in writing the equipment manufacturer and the appropriate regulatory agency a minimum of thirty (30) days prior to the date of such termination. Nonpayment of any kind shall be considered breach of contract and a termination of contract.

IV. Services:

Contractor will:

- a. Inspect and perform routine upkeep on the On-Site Sewage Facility (hereinafter referred to as OSSF) as recommended by the treatment system manufacturer, and required by state and/or local regulation, for a total of three visits to site per year. The list of items checked at each visit shall be the: control panel, Electrical circuits, timer, Aeration including compressor and diffusers, CFM/PSI measured, lids safety pans, pump, compressor, sludge levels, and anything else required as per the manufacturer.
- b. Provide a written record of visits to the site by means of an inspection tag attached to or contained in the control panel.
- c. Repair or replace, if Contractor has the necessary materials at site, any component of the OSSF found to be failing or inoperative during the course of a routine monitoring visit. If such services are not covered by warranty, and the service(s) cost less than \$100.00, Customer hereby authorizes Contractor to perform the service(s) and bill Customer for said service(s). When service costs are greater than \$100.00, or if contractor does not have the necessary supplies at the site, Contractor will notify Customer of the required service(s) and the associated cost(s). Customer must notify Contractor of arrangements to affect repair of system within two (2) business days after said notification.
- d. Provide sample collection and laboratory testing of TSS and BOD on a yearly basis (commercial systems only).
- e. Forward copies of this Agreement and all reports to the regulatory agency and the Customer.
- f. Visit site in response to Customer's request for unscheduled services within forty-eight (48) hours of the date of notification (weekends and holidays excluded) of said request. Unless otherwise covered by warranty, costs for such unscheduled responses will be billed to Customer.

V. Disinfection:

TT

RC



Customer's Initials

Contractor's Initials

____ Not required; X required. The responsibility to maintain the disinfection device(s) and provide any necessary chemicals is that of the Customer.

VI. Electronic Monitoring:

Electronic Monitoring is not included in this Agreement.

VII. Performance of Agreement:

Commencement of performance by Contractor under this Agreement is contingent on the following conditions:

a. If this is an initial Agreement (new installation):

I. Contractor's receipt of a fully executed original copy or facsimile of this agreement and all documentation requested by Contractor.

If the above conditions are not met, Contractor is not obligated to perform any portion of this Agreement.

VIII. Customer's Responsibilities:

The customer is responsible for each and all of the following:

a. Provide all necessary yard or lawn maintenance and removal of all obstacles, including but not limited to dogs and other animals, vehicles, trees, brush, trash, or debris, as needed to allow the OSSF to function properly, and to allow Contractor safe and easy access to all parts of the OSSF.

b. Protect equipment from physical damage including but not limited to that damage caused by insects.

c. Maintain a current license to operate, and abide by the conditions and limitations of that license, and all requirements for and OSSF from the State and/or local regulatory agency, whichever requirements are more stringent, as well as the proprietary system's manufacturer recommendations.

d. Notify Contractor immediately of any and all alarms, and/or any and all problems with, including failure of, the OSSF.

e. Provide, upon request by Contractor, water usage records for the OSSF so that the Contractor can perform a proper evaluation of the performance of the OSSF.

f. Allow for samples at both the inlet and outlet of the OSSF to be obtained by Contractor for the purpose of evaluating the OSSF's performance. If these samples are taken to a laboratory for testing, with the exception of the service provided under Section IV (d) above, Customer agrees to pay Contractor for the sample collection and transportation, portal to portal, at a rate of \$35.00 per hour, plus the associated fees for laboratory testing.

g. Prevent the backwash or flushing of water treatment or conditioning equipment from entering the OSSF.

h. Prevent the condensation from air conditioning or refrigeration units, or the drains of icemakers, from hydraulically overloading the aerobic treatment units. Drain lines may discharge into the surface application pump tank if approved by system designer.

i. Provide for pumping and cleaning of tanks and treatment units, when and as recommended by Contractor, at Customer's expense.

j. Maintain site drainage to prevent adverse effects on the OSSF.

k. Pay promptly and fully, all Contractor's fees, bills, or invoices as described herein.

IX. Access by Contractor:

Contractor is hereby granted an easement to the OSSF for the purpose of performing services described herein. Contractor may enter the property during Contractor's normal business hours and/or other reasonable hours without prior notice to Customer to perform the Services and/or repairs described herein. Contractor shall have access to the OSSF electrical and physical components. Tanks and treatment units shall be accessible by means of man ways, or risers and removable covers, for the purpose of evaluation as required by State and/or local rules and the proprietary system manufacturer. It is Customer's responsibility to keep lids exposed and accessible at all times.

X. Limit of Liability:

Contractor shall not be held liable for any incidental, consequential, or special damages, or for economic loss due to expense, or for loss of profits or income, or loss of use to Customer, whether in contract tort or any other theory. In no event shall Contractor be liable in an amount exceeding the total Fee for Services amount paid by Customer under this Agreement.

XI. Indemnification:

Customer (whether one or more) shall and does hereby agree to indemnify, hold harmless and defend Contractor and each of its successors, assigns, heirs, legal representatives, devisees, employees, agents and/or counsel (collectively "Indemnitees") from and against any and all liabilities, claims, damages, losses, liens, causes of action, suits, fines, judgments and other expenses (including, but not limited to, attorneys' fees and expenses and costs of investigation), of any kind, nature or description, (hereinafter collectively referred to as "Liabilities") arising out of, caused by, or resulting, in whole or in part, from this Agreement.

TT

Customer's Initials



RC

Contractor's Initials

THIS INDEMNIFICATION APPLIES EVEN IF SUCH LIABILITIES ARE CAUSED BY THE CONCURRENT OR CONTRIBUTORY NEGLIGENCE OR BY THE STRICT LIABILITY OF ANY INDEMNITEE.

Customer hereby waives its right of recourse as to any Indemnitee when Indemnification applies, and Customer shall require its insurer(s) to waive its/their right of subrogation to the extent such action is required to render such waiver of subrogation effective. Customer shall be subrogated to Indemnities with respect to all rights Indemnities may have against third parties with respect to matters as to which Customer provides indemnity and/or defense to Indemnities. No Indemnification is provided to Indemnities when the liability or loss results from (1) the sole responsibility of such Indemnitee; or, (2) the willful misconduct of such Indemnitee. Upon irrevocable acceptance of this Indemnification obligation, Customer, in its sole discretion, shall select and pay counsel to defend Indemnities of and from any action that is subject to this Indemnification provision. Indemnities hereby covenant not to compromise or settle any claim or cause of action for which Customer has provided Indemnification without the consent of Customer.

XII. Severability:

If any provision of the "Proposal and Contract" shall be held to be invalid or unenforceable for any reason, the remaining provisions shall continue to be valid and enforceable. If a court finds that any provision of the "Agreement" is invalid or unenforceable, but that by limiting such provision it would become valid and enforceable, then such provision shall be deemed to be written, construed, and enforced as so limited.

XIII. Fee for Services:

The Fee for Services does not include any fees for equipment, material, labor necessary for non-warranty repairs, unscheduled inspections, or Customer requested visits to the site.

XIV. Payment:

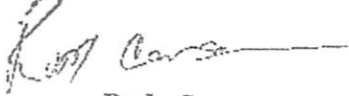
Full payment is due upon execution of this Agreement (Required of new Customer). For any other service(s) or repair(s) provided by Contractor the Customer shall pay the invoice(s) for said service(s) or repair(s) within thirty (30) days of the invoice date. The Contractor shall mail all invoices on the date of invoice. All payments not received within thirty (30) days from the invoice date will be subject to a \$29.00 late penalty and a 1.5% per month carrying charge, as well as any reasonable attorney's fees, and all collection and court costs incurred by Contractor in collection of unpaid debt(s). Contractor may terminate contract at any time for nonpayment for services. Any check returned to Contractor for any reason will be assessed a \$30.00 return check fee.

XV. Application or Transfer of payment:

The fees paid for this agreement may be transferred to subsequent property owner(s); however, this Agreement is not transferable. Customer shall advise the subsequent property owner(s) of the State requirement that they sign a replacement agreement authorizing Contractor to perform the herein described Services, and accepting Customer's Responsibilities. This replacement Agreement must be signed and received in Contractor's offices within ten (10) business days of date of transfer of property ownership. Contractor will apply all funds received from Customer first to any past due obligation arising from this Agreement including late fees or penalties, return check fees, and/or charges for services or repairs not paid within thirty (30) days of invoice date. Any remaining monies shall be applied to the funding of the replacement Agreement. The consumption of funds in this manner may cause a reduction in the termination date of effective coverage per this Agreement. See Section IV.

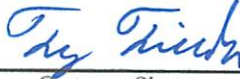
XVI. Entire Agreement:

This agreement contains the entire Agreement of the parties, and there are no other conditions in any other agreement, oral or written.



Rudy Carson

Block Creek Aerobic Services, LLC,
Contractor
MP# 0002036



Customer Signature

8/13/25
Date

TT

Customer's Initials



RC

Contractor's Initials

Preliminary Field Check For Drip Systems

Date: 8/15/2025

Applicant Information:

Name: Toby Triesch

Address: 1667 Hallmark

City, State & Zip Code: Seguin, TX 78155

Phone:

Email:

Site Evaluator Information:

Name: Andrea Dowlearn

Company: D.A.D. Services, Inc.

Address: 703 Oak Drive

City, State & Zip: Blanco, TX 78606

Phone: (210)878-8100

Email: txseptic@gmail.com

Installer Information:

Revised
Efrain Gallegos
09/15/2025 3:26:40 PM

Property Location:

Subdivision: BEATY SEALE AND FORWOOD SUR 909,
ABSTRACT 795

Street/Road Address: 1667 Hallmark

City: Canyon Lake **Zip:** 78133

Additional Info: Comal County

Depth	Texture Class	Soil Texture	Structure (For Class III – blocky, platy or massive)	Drainage (Mottles/Water Table)	Restrictive Horizon	Observation
Soil Boring #1 60"	III	0-12" Clay Loam	Blocky	n/a	12"+	Clear surface rock from drainfield area, and ensure there is a minimum of 12" suitable soil between the bottom of drip lines, and the restrictive horizon. Class II soil may need to be imported to maintain the minimum of 12" of soil between bottom of drip lines and restrictive horizon
Soil Boring #2 60"		SAME AS ABOVE				

DESIGN SPECIFICATIONS

Application Rate (RA): 0.2

OSSF is designed for: 2 bedroom 820 Sq. Ft residence/casita

180 gallons per day

An aerobic treatment/drip disposal system is to be utilized based on the site evaluation.

900 sq. ft. disposal area required

New 600 gallon aerobic treatment unit

Calculations: Absorption Area: $Q/RA = 180/0.2 = 900$ Sq. Ft.

FEATURES OF SITE AREA

Presence of 100-year flood zone: NO

Existing or proposed water well in nearby area: NO

Presence of adjacent ponds, streams, water impoundments: NO

Presence of upper water shed: NO

Organized sewage service available to lot: NO

I certify that the findings of this report are based on my field observations and are accurate to the best of my ability. The site evaluation and OSSF design are subject to approval by the TCEQ or the local authorized agent. The planning materials and the OSSF design should not be considered final until a permit to construct has been issued.

Site Evaluator:

NAME: Andrea J. Dowlearn

Signature:

Andrea Jeanne Dowlearn

License No. OS0035060

TDH: 4980

Revised

Efrain Gallegos

09/15/2025 3:45:26 PM

D.A.D SERVICES, INC.

ANDREA DOWLEARN

PO BOX 212, BULVERDE, TX 78163

Designed for:

Toby Triesch

The installation site is at 1667 Hallmark, Canyon Lake, Tx 78133 in Comal County, TX. The proposed OSSF will treat the wastewater from a 2 Bedroom (820 sq. ft.) casita. The proposed method of wastewater treatment is aerobic treatment with drip irrigation. This method was chosen because of unsuitable soil conditions.

PROPOSED SYSTEM:

A 3" or 4" PVC pipe will discharge from the structure to a NuWater B-550 aerobic treatment plant, containing a 353 gallon pre-treatment tank, a 600 gpd aerobic treatment plant, and a 768 gallon pump tank equipped with a 20 gpm submersible pump. The pump is activated by a time controller allowing the distribution 8 times per day with a 10 minute run time per dose, with float switches set to pump 180 gallons per day. A high level audible and visual alarm will activate should the pump fail. Distribution from the pump is through a self flushing 100 micron, 140 mesh disc filter, then through a 1" SCH-40 manifold to a 480 L.F. drip tubing field, with drip lines set approximately two feet apart with 0.61 gph emitters set every two feet, as per the attached schematic. A threaded union will be installed in the pump tank on the supply manifold to the drip field, and a pressure regulator will be installed on the supply manifold to maintain a pressure of 30 psi. A 1" SCH-40 return line is installed to continuously flush the system back to the pump tank. Vacuum breakers installed at the highest point on each manifold will prevent siphoning of effluent from higher to lower parts of the field. The placement of the drip tubing will be on soil that has been scarified, and enough class II soil will be added so that there is 12" of soil under the drip tubing. The tubing will be covered with 6" of Class II soil.

DESIGN SPECIFICATIONS:

Daily Waste Flow: 180 gpd

Application rate: 0.2

Application area required: $180/.2 = 900$ sq. ft.

Application area utilized: 960 sq. ft.

Pump tank reserve capacity: 60 gal minimum



Andrea Jeanne Dowlearn

SYSTEM COMPONENTS:

SCH 40 PVC sewer line

NuWater B-550

353 gallon pre treatment tank

600 gpd aerobic treatment plant

768 gallon pump tank with timed controls

C1 Series, 20Xgpm - 0.5hp/115V, Model No. 20C1X-05P4-2W115 (or equivalent)

1" purple PVC supply line

30 PSI pressure regulator - Model PMR30MF

Netafim Bioline Drip tubing

LANDSCAPING:

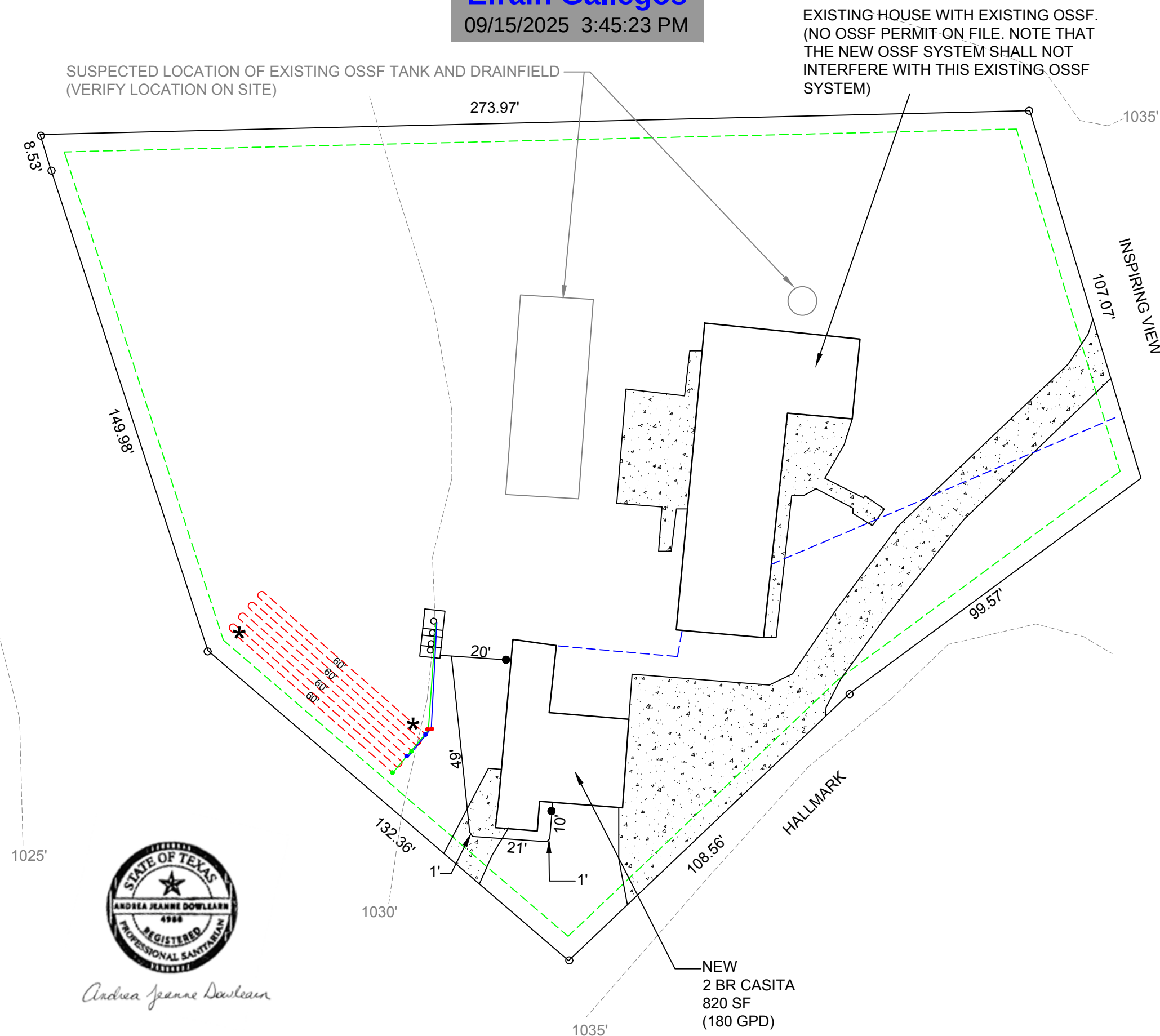
The native vegetation in the distribution area should consist of low level shrubs, plains grass, bluestem or bermuda. The entire area of the drip disposal must be covered with a ground cover such as grass seed or sod prior to the final inspection.

Revised
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FEDERAL NATIONAL MORTGAGE ASSN
1667 HALLMARK
CANYON LAKE, TX 78133
A-32 SUR-35 T M BLAKE
ACRES 1.065
COMAL COUNTY



SCALE 1" = 30'
PRINT SIZE 11" X 17"



480 L.F. OF DRIP TUBING SPACED 2' APART.
8 ROWS @ 60 L.F. EACH

NOTES:

- USE 3" OR 4" SCH 40 SEWER PIPE TO CONNECT STRUCTURE TO TANK.
- CLEANOUT WITHIN 3' OF STRUCTURE.
- SEWER PIPE CONNECTING THE STRUCTURE TO THE TANK MUST HAVE AT MINIMUM 1/8" FALL PER 1'.
- SEWER LINE WILL BE SCH 80 PVC OR SLEEVED WITH SCH 40 PVC WHERE IT IS WITHIN 5' OF OR CROSSES UNDER DRIVE, WALKWAY, SURFACE IMPROVEMENTS AND 5' BEYOND TO PROVIDE EQUIVALENT PROTECTION UNDER SETBACK REQUIREMENTS OF TAC 285.
- INSTALL 1" VACUUM BREAKERS AT HIGHEST POINTS ON SUPPLY AND FLUSH LINES.
- TANK TO BE > 5' FROM STRUCTURES AND SURFACE IMPROVEMENTS. THIS WILL PROVIDE EQUIVALENT PROTECTION FOR THE SETBACK REQUIREMENTS OF TAC 285.
- TANK WILL BE WATER TIGHT AND MANUFACTURED ACCORDING TO ASTM DESIGNATION: C 1227.
- DRAINFIELD SHALL BE GREATER THAN 100' FROM PRIVATE WELLS, AND GREATER THAN 150' FROM PUBLIC WELLS. VERIFY WELL LOCATION(S) ON SITE.
- CLEAR SURFACE ROCK AND BOULDERS FROM DRAINFIELD AREA, AND ENSURE THAT THERE IS AT MINIMUM 12" OF SUITABLE SOIL BETWEEN THE BOTTOM OF THE DRIP LINES, AND THE RESTRICTIVE HORIZON. CLASS II SOIL MAY NEED TO BE IMPORTED IN ORDER TO MAINTAIN THE MINIMUM 12" OF SOIL BETWEEN THE BOTTOM OF THE DRIP LINES AND RESTRICTIVE HORIZON.

KEY

- TWO WAY CLEANOUT
- 1" VACUUM BREAKER
- 1" SUPPLY LINE
- 1" FLUSH LINE
- SUPPLY LINE CONNECTION
- FLUSH LINE CONNECTION
- PROPOSED WATER LINE(VERIFY LOCATION ON SITE)
- 5' OSSF OFFSET FROM PROPERTY LINE
- TEST HOLE
- 600 GPD AEROBIC TREATMENT UNIT
- DRIVE/WALKWAY



Andrea Jeanne Dowleam

Assembly Details

OSSF



Andrea Jeanne Dowle

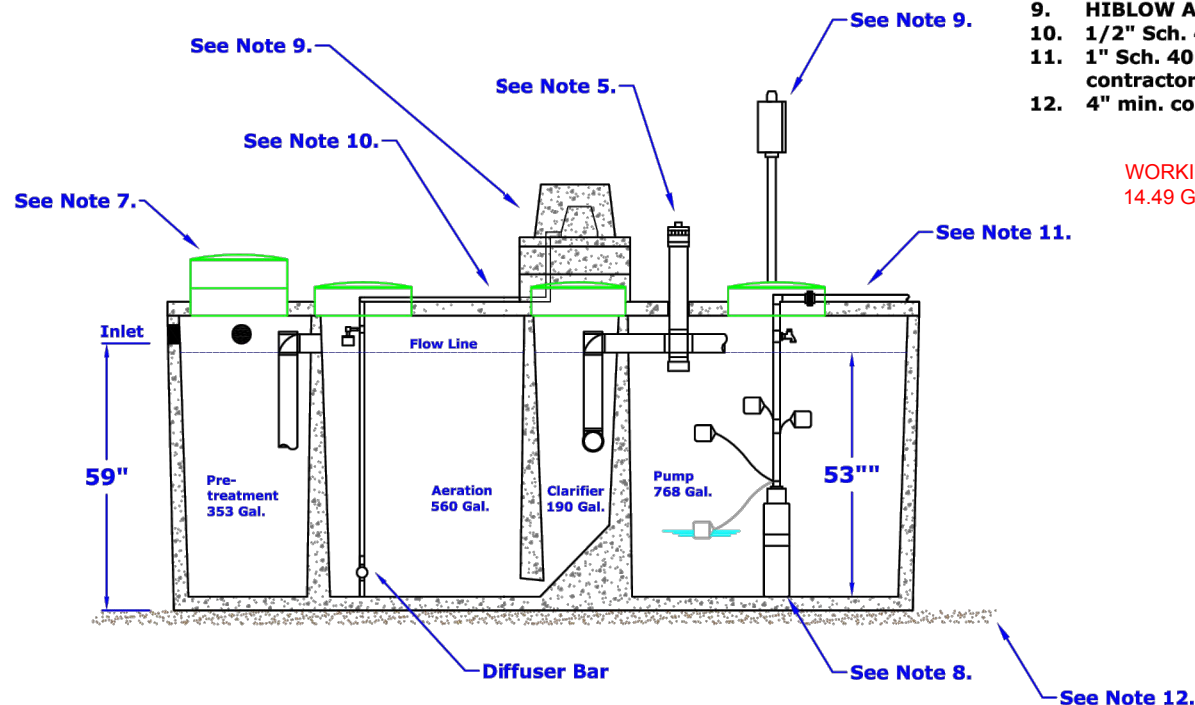
37" - 53" - RESERVE - 231.84 GAL
12" - 37" - PUMP ON TO ALARM ON - 362.25 GAL
10" - 12" - PUMP OFF TO PUMP ON - 28.89 GAL
0 - 10" - SUMP- 144.9 GAL

NOTE: SET ON A TIMER TO DOSE 8 TIMES PER DAY AT 10 MINUTES PER DOSE.

GENERAL NOTES:

1. Plant structure material to be precast concrete and steel.
2. Maximum burial depth is 30" from slab top to grade.
3. Weight = 14,900 lbs.
4. Treatment Capacity is 600 GPD. Pump compartment set-up to allow 100 GPD Flow Rate (4 bedroom, < 4,000 sq/ft living area). Please specify for additional set-up requirements.
5. Standard is liquid chlorinator or Optional Liquid chlorinator. NSF approved chlorinators (tablet & liquid) available.
6. Big Robix B-550 Control Center w/ Timer for night spray application. Optional Micro Dose (min/sec) timer available for drip applications. Electrical Requirement to be 115 Volts, 60 Hz, Single Phase, 30 AMP, Grounded Receptacle.
7. 20" Ø access riser w/ lid (Typical 4). Optional extension risers available.
8. 20 GPM 1/2 HP, high head effluent pump.
9. HIBLOW Air Compressor w/ concrete housing.
10. 1/2" Sch. 40 PVC Air Line (Max. 50 Lft from Plant).
11. 1" Sch. 40 PVC pipe to distribution system provided by contractor.
12. 4" min. compacted sand or gravel pad by Contractor

WORKING LEVEL = 53"
14.49 GAL/INCH



DIMENSIONS:

Outside Height: 67"
Outside Width: 63"
Outside Length: 164"

MINIMUM EXCAVATION DIMENSIONS:

Width: 76"
Length: 176"

NuWater B-550 (600 GPD)
Aerobic Treatment Plant (Assembled)

Model: B-550-PC-400PT

March, 2012 - Rev 1
By: A.S.

Scale:

* All Dimensions subject to allowable specification tolerances.

Dwg. #: ADV-B550-3



Advantage Wastewater Solutions LLC.
444 A Old Hwy No 9
Comfort, TX 78013
830-995-3189
fax 830-995-4051

Revised

Efrain Gallegos

09/15/2025 3:45:18 PM

C1 SERIES

CISTERN PUMPS

Designed for use in gray water / filtered effluent service applications, the C1 Series cistern pump provides high performance and long life in less than ideal water conditions. The C1 Series pump is able to pass solids up to 1/8" without having a negative effect on the internal hydraulic components.

The pump's unique bottom suction design allows for maximum fluid drawdown without compromising durability or overall life, and it does not require the use of a flow induction sleeve. Intended specifically for use in a cistern or tank, C1 Series pumps are suitable for use in agricultural, residential, and commercial installations.



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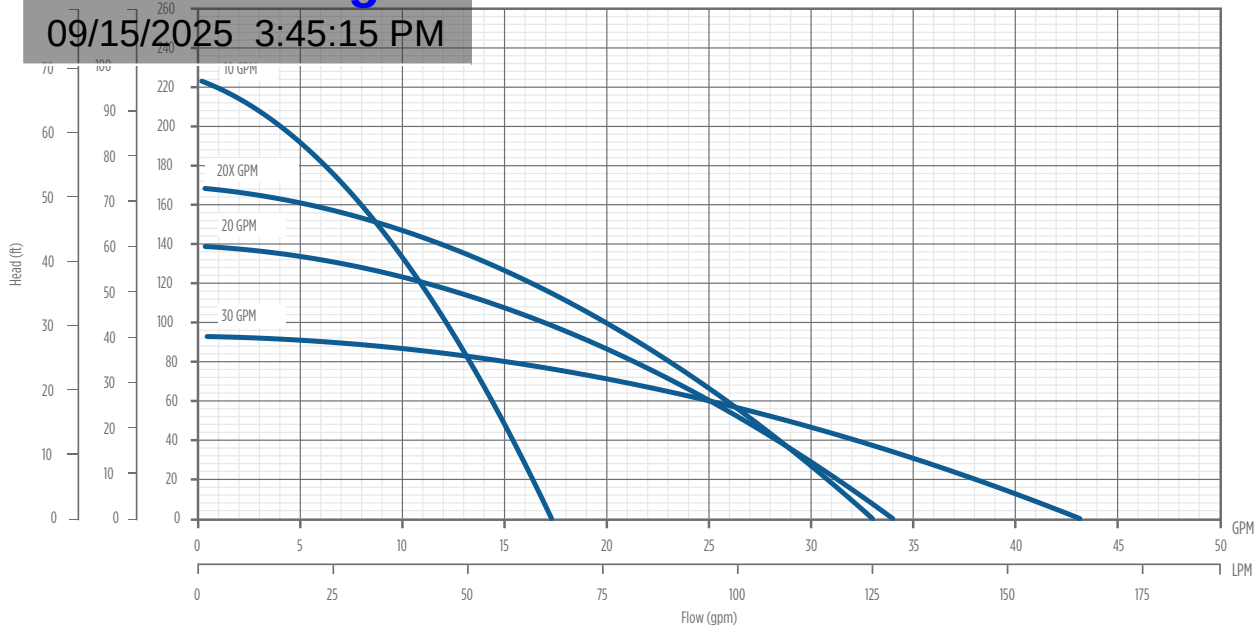
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Revised

Efrain Gallegos

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C1 Series Family Curve



FEATURES

- Supplied with a removable 5" base for secure and reliable mounting
- Bottom suction design
- Robust thermoplastic discharge head design resists breakage during installation and operation
- Single shell housing design provides a compact unit while ensuring cool and quiet operation
- Hydraulic components molded from high quality engineered thermoplastics
- Optimized hydraulic design allows for increased performance and decreased power usage
- All metal components are made of high grade stainless steel for corrosion resistance
- Available with a high quality 115 V or 230 V, ½ hp motor
- Fluid flows of 10, 20, and 30 gpm, with a max shut-off pressure of over 100 psi
- Heavy duty 600 V 10 foot SJ00W jacketed lead

APPLICATIONS

- Gray water pumping
- Filtered effluent service water pumping
- Water reclamation projects such as pumping from rain catchment basins
- Aeration and other foundation or pond applications
- Agriculture and livestock water pumping

ORDERING INFORMATION

C1 Series Pumps							
GPM	HP	Volts	Stage	Model No.	Order No.	Length (in)	Weight (lbs)
10	1/2	115	7	10C1-05P4-2W115	90301005	26	17
		230	7	10C1-05P4-2W230	90301010	26	17
20		115	5	20C1-05P4-2W115	90302005	25	16
		230	5	20C1-05P4-2W230	90302010	25	16
20X		115	6	20XC1-05P4-2W115	90302015	26	17
		230	6	20XC1-05P4-2W230	90302020	26	17
30		115	4	30C1-05P4-2W115	90303005	25	16
		230	4	30C1-05P4-2W230	90303010	25	16

Note: All units have 10 foot long SJ00W leads.



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franklinwater.com

M1698 07-14

VOID

D.A.D SERVICES, INC.

PO BOX 212, BULVERDE, TX 78163

Designed for:
Toby Triesch

The installation site is at 1667 Hallmark, Canyon Lake, Tx 78133 in Comal County, TX. The proposed OSSF will treat the wastewater from a 2 Bedroom (820 sq. ft.) casita. The proposed method of wastewater treatment is aerobic treatment with drip irrigation. This method was chosen because of unsuitable soil conditions.

PROPOSED SYSTEM:

A 3" or 4" PVC pipe will discharge from the structure to a NuWater B-800 aerobic treatment plant, containing a 431 gallon pre-treatment tank, a 800 gpd aerobic treatment plant, and a 854 gallon pump tank equipped with a 20 gpm submersible pump. The pump is activated by a time controller allowing the distribution 7 times per day with a 10 minute run time per dose, with float switches set to pump 180 gallons per day. A high level audible and visual alarm will activate should the pump fail. Distribution from the pump is through a self flushing 100 micron, 140 mesh disc filter, then through a 1" SCH-40 manifold to a 520 L.F. drip tubing field, with drip lines set approximately two feet apart with 0.61 gph emitters set every two feet, as per the attached schematic. A threaded union will be installed in the pump tank on the supply manifold to the drip field, and a pressure regulator will be installed on the supply manifold to maintain a pressure of 30 psi. A 1" SCH-40 return line is installed to continuously flush the system back to the pump tank. Vacuum breakers installed at the highest point on each manifold will prevent siphoning of effluent from higher to lower parts of the field. The placement of the drip tubing will be on soil that has been scarified, and enough class II soil will be added so that there is 12" of soil under the drip tubing. The tubing will be covered with 6" of Class II soil.

DESIGN SPECIFICATIONS:

Daily Waste Flow: 180 gpd
Application rate: 0.2
Application area required: $180/.2 = 900$ sq. ft.
Application area utilized: 1040 sq. ft.
Pump tank reserve capacity: 60 gal minimum

SYSTEM COMPONENTS:

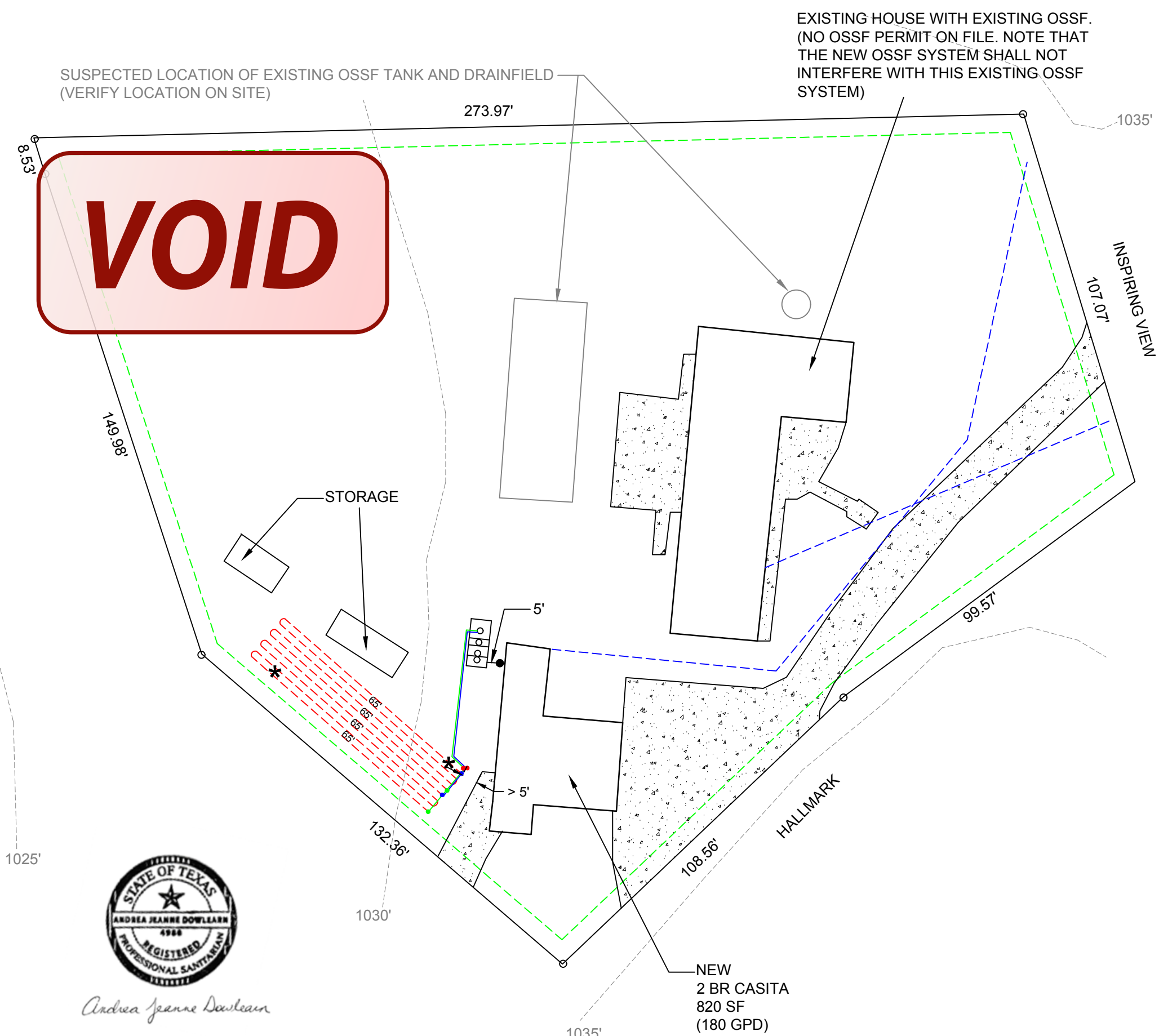
SCH 40 PVC sewer line
NuWater B-800
 431 gallon pre treatment tank
 800 gpd aerobic treatment plant
 854 gallon pump tank with timed controls
 C1 Series, 20Xgpm - 0.5hp/115V, Model No. 20C1X-05P4-2W115 (or equivalent)
1" purple PVC supply line
30 PSI pressure regulator - Model PMR30MF
Netafim Bioline Drip tubing



Andrea Jeanne Dowleam

LANDSCAPING:

The native vegetation in the distribution area should consist of low level shrubs, plains grass, bluestem or bermuda. The entire area of the drip disposal must be covered with a ground cover such as grass seed or sod prior to the final inspection.



EXISTING HOUSE WITH EXISTING OSSF.
(NO OSSF PERMIT ON FILE. NOTE THAT
THE NEW OSSF SYSTEM SHALL NOT
INTERFERE WITH THIS EXISTING OSSF
SYSTEM)

Toby Triesch
1667 HALLMARK
CANYON LAKE, TX 78133
A-32 SUR-35 T M BLAKE
ACRES 1.065
COMAL COUNTY



SCALE 1" = 30'
PRINT SIZE 11" X 17"

520 L.F. OF DRIP TUBING SPACED 2' APART.
8 ROWS @ 65 L.F. EACH

NOTES:

- USE 3" OR 4" SCH 40 SEWER PIPE TO CONNECT STRUCTURE TO TANK.
- CLEANOUT WITHIN 3' OF STRUCTURE.
- SEWER PIPE CONNECTING THE STRUCTURE TO THE TANK MUST HAVE AT MINIMUM 1/8" FALL PER 1'.
- INSTALL 1" VACUUM BREAKERS AT HIGHEST POINTS ON SUPPLY AND FLUSH LINES.
- TANK TO BE > 5' FROM STRUCTURES AND SURFACE IMPROVEMENTS. THIS WILL PROVIDE EQUIVALENT PROTECTION FOR THE SETBACK REQUIREMENTS OF TAC 285.
- TANK WILL BE WATER TIGHT AND MANUFACTURED ACCORDING TO ASTM DESIGNATION: C 1227.
- DRAINFIELD SHALL BE GREATER THAN 100' FROM PRIVATE WELLS, AND GREATER THAN 150' FROM PUBLIC WELLS. VERIFY WELL LOCATION(S) ON SITE.
- CLEAR SURFACE ROCK AND BOULDERS FROM DRAINFIELD AREA, AND ENSURE THAT THERE IS AT MINIMUM 12" OF SUITABLE SOIL BETWEEN THE BOTTOM OF THE DRIP LINES, AND THE RESTRICTIVE HORIZON. CLASS II SOIL MAY NEED TO BE IMPORTED IN ORDER TO MAINTAIN THE MINIMUM 12" OF SOIL BETWEEN THE BOTTOM OF THE DRIP LINES AND RESTRICTIVE HORIZON.

KEY

- - TWO WAY CLEANOUT
- - 1" VACUUM BREAKER
- - 1" SUPPLY LINE
- - 1" FLUSH LINE
- - SUPPLY LINE CONNECTION
- - FLUSH LINE CONNECTION
- - - - - PROPOSED WATER LINE(VERIFY LOCATION ON SITE)
- - - - - 5' OSSF OFFSET FROM PROPERTY LINE
- * - TEST HOLE
- ☐☐☐☐ - 800 GPD AEROBIC TREATMENT UNIT
- ☐☐☐☐ - DRIVE/WALKWAY



Andrea Jeanne Dowle

Assembly Details

OSSF



Andrea Jeanne Dowle

DIMENSIONS:

Outside Height: 67"

Outside Width: 75"

Outside Length: 164.5"

MINIMUM EXCAVATION DIMENSIONS:

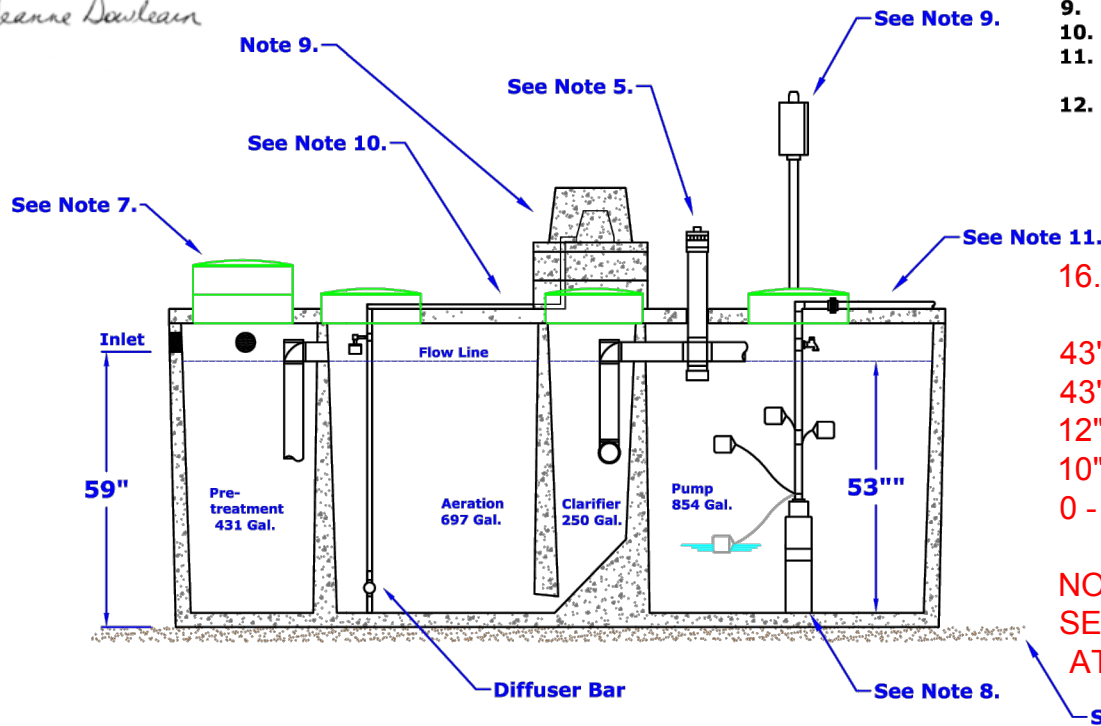
Width: 87"

Length: 177"

VOID

GENERAL NOTES:

1. Plant structure material to be precast concrete and steel.
2. Maximum burial depth is 30" from slab top to grade.
3. Weight = 16,700 lbs.
4. Treatment capacity is 800 GPD. Pump compartment set-up for a 420 GPD Flow Rate (5 bedroom, < 4,501 sq/ft living area). Please specify for additional set-up requirements. BOD Loading = 2.60 lbs. per day.
5. Standard tablet chlorinator or Optional Liquid chlorinator. NSF approved chlorinators (tablet & liquid) available.
6. Bio-Robix B-800 Control Center w/ Timer for night spray application. Optional Micro Dose (min/sec) timer available for drip applications. Electrical Requirement to be 115 Volts, 60 Hz, Single Phase, 30 AMP, Grounded Receptacle.
7. 20" Ø access riser w/ lid (Typical 4). Optional extension risers available.
8. 20 GPM 1/2 HP, high head effluent pump.
9. HIBLOW Air Compressor w/ concrete housing.
10. 1/2" Sch. 40 PVC Air Line (Max. 50 Lft from Plant).
11. 1" Sch. 40 PVC pipe to distribution system provided by contractor.
12. 4" min. compacted sand or gravel pad by Contractor



16.11 GALLONS/INCH

43" - 53" - RESERVE - 161.1 GAL

43" - ALARM ON

12" - 43" - WORKING LEVEL - 499.41 GAL

10" - 12" - PUMP OFF TO PUMP ON - 32.22 GAL

0 - 10" - SUMP- 161.1 GAL

NOTE:

SET ON A TIMER TO DOSE 7 TIMES PER DAY
AT 10 MINUTES PER DOSE.

NuWater B-800
Aerobic Treatment Plant (Assembled)

Model: B-800

March, 2010
By: A.S.

Scale:

* All Dimensions subject to allowable specification tolerances.

Dwg. #: ADV-B800-2



Advantage Wastewater Solutions Inc.
444 A Old Hwy No 9
Comfort, TX 78013
830-995-3189
fax 830-995-4051

VOID

C1 SERIES

Franklin Electric

C1 SERIES

CISTERN PUMPS

Designed for use in gray water / filtered effluent service applications, the C1 Series cistern pump provides high performance and long life in less than ideal water conditions. The C1 Series pump is able to pass solids up to 1/8" without having a negative effect on the internal hydraulic components.

The pump's unique bottom suction design allows for maximum fluid drawdown without compromising durability or overall life, and it does not require the use of a flow induction sleeve. Intended specifically for use in a cistern or tank, C1 Series pumps are suitable for use in agricultural, residential, and commercial installations.

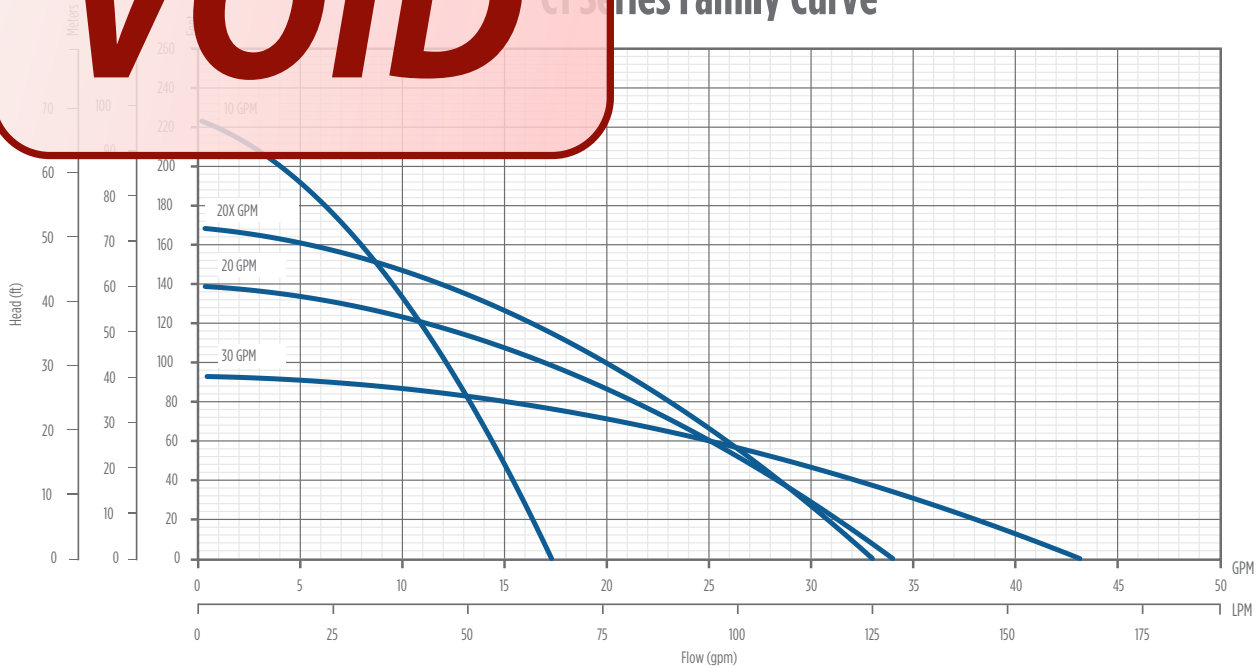


Franklin Electric

franklinwater.com

VOID

C1 Series Family Curve



FEATURES

- Supplied with a removable 5" base for secure and reliable mounting
- Bottom suction design
- Robust thermoplastic discharge head design resists breakage during installation and operation
- Single shell housing design provides a compact unit while ensuring cool and quiet operation
- Hydraulic components molded from high quality engineered thermoplastics
- Optimized hydraulic design allows for increased performance and decreased power usage
- All metal components are made of high grade stainless steel for corrosion resistance
- Available with a high quality 115 V or 230 V, ½ hp motor
- Fluid flows of 10, 20, and 30 gpm, with a max shut-off pressure of over 100 psi
- Heavy duty 600 V 10 foot SJ00W jacketed lead

APPLICATIONS

- Gray water pumping
- Filtered effluent service water pumping
- Water reclamation projects such as pumping from rain catchment basins
- Aeration and other foundation or pond applications
- Agriculture and livestock water pumping

ORDERING INFORMATION

C1 Series Pumps							
GPM	HP	Volts	Stage	Model No.	Order No.	Length (in)	Weight (lbs)
10	1/2	115	7	10C1-05P4-2W115	90301005	26	17
		230	7	10C1-05P4-2W230	90301010	26	17
20		115	5	20C1-05P4-2W115	90302005	25	16
		230	5	20C1-05P4-2W230	90302010	25	16
20X		115	6	20XC1-05P4-2W115	90302015	26	17
		230	6	20XC1-05P4-2W230	90302020	26	17
30		115	4	30C1-05P4-2W115	90303005	25	16
		230	4	30C1-05P4-2W230	90303010	25	16

Note: All units have 10 foot long SJ00W leads.



Franklin Electric

franklinwater.com

M1698 07-14



COMAL COUNTY

ENGINEER'S OFFICE

Address: _____

Legal Description: _____

Dear Property Owner & Agent,

Thank you for your submission. We have reviewed the planning materials for the referenced permit application, and unfortunately, they are insufficient. To proceed with processing this permit, we require the following:

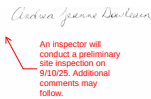
118937.pdf Markup Summary

Callout (2)



Subject: Callout
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Author: Efrain Gallegos
Date: 9/9/2025 2:50:00 PM
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Designer to be the same on all paperwork.



Subject: Callout
Page Label: 10
Author: Efrain Gallegos
Date: 9/9/2025 3:10:51 PM
Status:
Color: ■
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Space:

An inspector will conduct a preliminary site inspection on 9/10/25. Additional comments may follow.

NO. 97014 -

GENERAL WARRANTY DEED RESERVING VENDOR'S LIEN.
HANNO GUENTHER TO WM. HAL HODGES, ET UX.

THE STATE OF TEXAS

COUNTY OF COMAL

X
X
X

KNOW ALL MEN BY THESE PRESENTS:

THAT I, HANNO GUENTHER, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable consideration in hand paid by WM. HAL HODGES and wife, LYNDALL R. HODGES, the receipt of which is hereby acknowledged, and for the further consideration hereinafter recited, have GRANTED, SOLD AND CONVEYED, and by these presents do GRANT, SELL AND CONVEY unto the said WM. HAL HODGES and wife, LYNDALL R. HODGES, the following described property, to-wit:

BEING a 1.065 acre tract out of a 2.708 acre tract of land in an unrecorded subdivision known as Hancock Oak Hills at Canyon Lake, Comal County, Texas, and being out of the Thomas M. Blake Survey (A-32) and being a portion of a 200 acre tract conveyed to T. C. McClure, Trustee, from Elmo Jonas by deed recorded in Volume 119, at Page 115 of the Deed and Plat Records of said county and being more particularly described by metes and bounds as follows, to-wit:

BEGINNING for reference at the Southerly corner of Beaty Seale and Forewood Survey (A-795) said point being in the common boundary line between the McClure and the Pauline Schubert properties;

THENCE, N. 1°06'45" W., a distance of 1953.50 feet to the Northerly most point of intersection of the Northerly right-of-way lines of Moss Oak Road and Hillcrest Circle;

THENCE, along the said right-of-way line of said Moss Oak Road, N. 63°05' W., a distance of 132.29 feet to a point;

THENCE, N. 32°29'45" W., a distance of 150.00 feet to a point;

THENCE, N. 74°12'36" E., a distance of 273.97 feet to a point in the Westerly right-of-way line of Inspiration Drive;

THENCE, S. 30°54'15" E., a distance of 106.65 feet to the point of intersection with said right-of-way and the Northerly right-of-way line of said Hillcrest Circle;

THENCE, along the said right-of-way line of Hillcrest Circle, S. 39°31'45" W., a distance of 99.55 feet to a point;

THENCE, S. 31°22'15" W., a distance of 108.53 feet to the POINT OF BEGINNING, and containing 1.065 acres of land, be the same, more or less.

This conveyance is subject, however, to the restrictions, reservations and exceptions herein set out, which are a part of the consideration for the execution of this deed and which shall run with and burden the title to said property herein conveyed, and shall be binding upon the Grantees, their heirs and assigns, forever.

1. No building or lot shall ever be used or occupied for any purpose except that of private residence exclusively and shall not be used or occupied for trade or business of any kind whatsoever, and no structure shall be erected, altered, placed or permitted to remain on any tract in said Hancock Oak Hills than one detached single-family dwelling, not to exceed two (2) stories in height, and a private garage for not more than three (3) cars and other outbuildings incidental to residential use. Said residence shall contain not less than square feet, all being exclusive of open porches, breezeways, carports and garages. All buildings must be complete no later than six (6) months after laying foundations. Servants quarters and guest houses may be constructed on the rear one-third of said tracts after completion of permanent residence.

2. No building or structure shall be erected or constructed on any tract until the building plans, specifications, plot plans and external design have first been approved in writing by the Grantors, or by such nominee or nominees as they may designate in writing and no improvements shall be erected or constructed on any tract in Hancock Oak Hills nearer than thirty (30) feet to the front property line, nor nearer than five (5) feet to the side property line, except that in the case of corner tracts, no improvements shall be erected or constructed within ten (10) feet of side property lines adjacent to streets.

3. The Grantors reserve to themselves, their successors and assigns, an easement or right-of-way over a strip along the side, front and rear boundary lines of the tract or tracts hereby conveyed, for the purpose of installation or maintenance of public utilities, including but not limited to gas, water, electricity, telephone, drainage and sewerage and any appurtenance to the supply lines therefor, including the right to remove and/or trim trees, shrubs or plants. This reservation is for the purpose of providing for the installation of such utilities as and when any public or private authority or utility company may desire to serve said tracts with no obligation to Grantors to supply such services.

4. No building or structure shall be occupied or used until the exterior thereof is completely finished with not less than two coats of paint. No outside toilet shall be installed or maintained on any premises and all plumbing shall be con-

nected with a sanitary sewer or septic tank approved by the State and Local Departments of Health.

5. No sign of any kind shall be displayed to the public view on any tract except one sign of not more than five (5) square feet advertising the property for sale or rent, or signs used by a builder to advertise the property during the construction and sales period.

6. No noxious, offensive, unlawful or immoral use shall be made of the premises.

7. An assessment of \$2.00 per month per lot owner, payable annually in advance, shall run against each tract in said subdivision for the maintenance of recreation facilities and operation costs according to rules and regulations of Grantors. Such assessment shall be and is hereby secured by a lien on each tract respectively, and shall be payable to the Grantors in New Braunfels, Texas, in advance, on each anniversary date hereof, or to such other person or persons as Grantors may designate by instrument filed of record in the office of the County Clerk of Comal County, Texas. In cases where one owner owns more than one tract, there will be only one assessment for such owner. Provided, however, that if such an owner should sell one or more of his said tracts to a party who theretofore did not own property in Hancock Oak Hills, then said tract or tracts so transferred shall thereafter be subject to the lien provided for in this covenant. The title in fee simple to land reserved as a recreation area is to be retained by the Grantors, their successors or assigns, and the Grantees, their heirs, successors, executors, administrators and assigns, further agree that the use of the said recreation area is subject to the approval of the user for membership in Hancock Oak Hills Club as hereinafter provided, and the Grantors', their successors and assigns rules or regulations now in force, of which may from time to time be made by the Grantors, and no part of the said premises shall be used or occupied by any person or persons unless such person or persons shall be approved for membership in the Hancock Oak Hills Club.

8. Approved members of the Hancock Oak Hills Club and their families shall have ingress and egress to the lake and recreation area, subject to rules and regulations of Grantors, but all others shall have written approval of Grantors to use said area. The lake and recreation area shall be available for use to approved members and their families at their own risk, and subject to the rules and regulations as set forth by the Army Corps of Engineers.

9. All covenants and restrictions shall be binding upon the Grantees, their successors, heirs and assigns, and are to inure to the benefit of the entire subdivision.

10. Invalidity of any one of these covenants or restrictions by judgment of any Court having jurisdiction in said matters shall in no wise affect any of the other provisions which shall remain in full force and effect.

As further consideration for this conveyance, said Grantees agreed and obligated themselves to pay the sum of

TWENTY-TWO THOUSAND FOUR HUNDRED AND NO/100 (\$22,400.00) DOLLARS, and in evidence thereof, made, executed and delivered their one certain promissory note of even date herewith for the principal sum of TWENTY-TWO THOUSAND FOUR HUNDRED AND NO/100 (\$22,400.00) DOLLARS, payable to the order of FIRST FEDERAL SAVINGS AND LOAN ASSOCIATION OF NEW BRAUNFELS, TEXAS, having advanced said sum at the request of the Grantees herein, and which note is payable in monthly installments of ONE HUNDRED SEVENTY-EIGHT AND 87/100 (\$178.87) DOLLARS each, or more, including interest at the rate of eight and four-tenths per cent (8.4%) per annum; the first installment to become due and payable on or before July 10, 1969, and a like installment to become due and payable on or before the same day of each succeeding month, until said note, both principal and interest, is fully paid; and said note provides for accelerated maturity in case of makers default in the payment of any installment of principal and interest when due and for ten per cent (10%) attorneys' fees if placed in the hands of an attorney for collection, or if collected through any Court; and said note is secured by a vendor's lien hereinafter retained and is hereby acknowledged by Grantees in favor of FIRST FEDERAL SAVINGS AND LOAN ASSOCIATION OF NEW BRAUNFELS, TEXAS, and is additionally secured by a deed of trust of even date herewith.

TO HAVE AND TO HOLD the above described premises, together with all and singular, the rights and appurtenances thereto in anywise belonging unto the said Grantees, their heirs and assigns, forever.

And I do hereby bind myself, my heirs, executors and administrators to WARRANT AND FOREVER DEFEND, all and singular the said premises unto the said Grantees, their heirs and assigns, against every person whomsoever lawfully claiming or to claim the same, or any part thereof, except for reservations, restric-

tions or easements, as hereinabove set out.

But it is expressly agreed and understood that the vendor's lien and superior title are retained and reserved against the above described premises and improvements until the whole of the above described note and all interest thereon are fully paid, according to its face and tenor, effect and reading, when this deed shall become absolute, and the vendor's lien and superior title are hereby transferred, assigned, sold and conveyed unto FIRST FEDERAL SAVINGS AND LOAN ASSOCIATION OF NEW BRAUNFELS, TEXAS, its successors and assigns, the payee named in said note.

EXECUTED this, the 9th day of June, 1969.

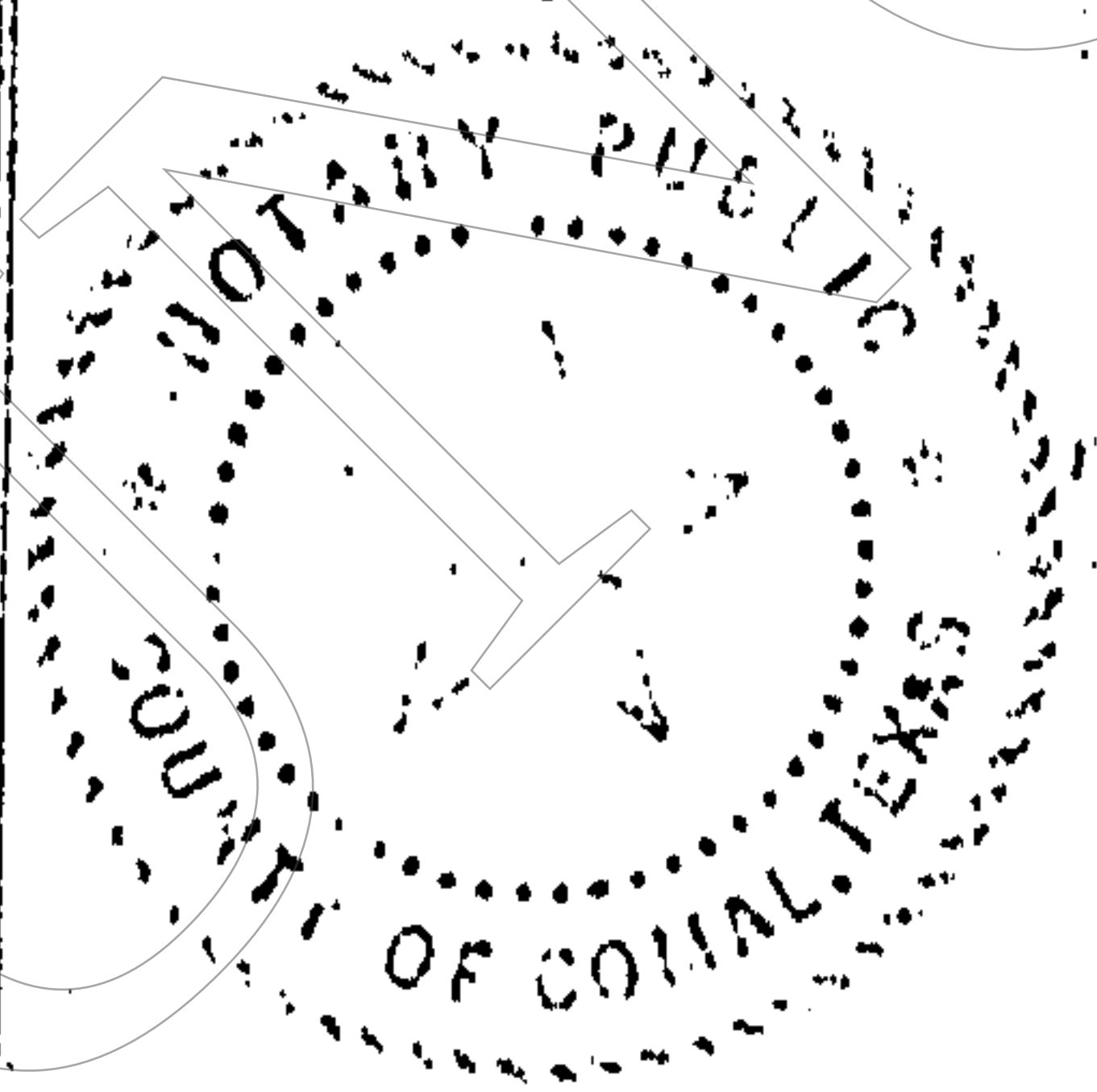

Hanno Guenther

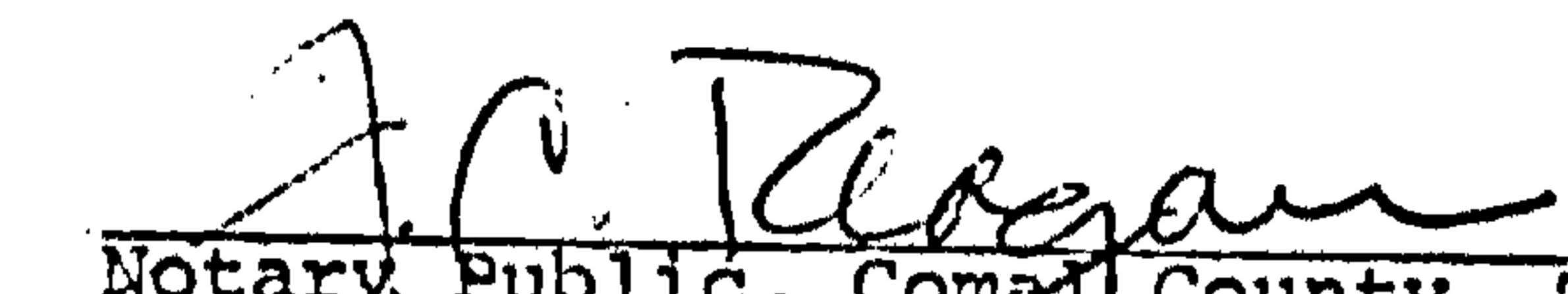
THE STATE OF TEXAS X

COUNTY OF COMAL X

BEFORE ME, the undersigned authority, on this day personally appeared HANNO GUENTHER, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the day of June, 1969.




Notary Public, Comal County, Texas

- 5 -

Filed for Record June 10, A.D. 1969, at 11:20 o'clock A. M.,

Recorded June 11, A.D. 1969, at 9:18 o'clock A. M.,

BY Mona Lou McQuinn, IRENE S. NUHN
Deputy : County Clerk, Comal County, Texas.

When Recorded Mail To:
Federal National Mortgage Association
5600 Granite Parkway VII
Plano, TX 75024

Prepared By:
Greenberg Traurig, LLP
2200 Ross Ave., Suite 5200
Dallas, Texas 75201

Quitclaim Deed

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

DATE: August 11, 2025

the GRANTOR: FEDERAL NATIONAL MORTGAGE ASSOCIATION
5600 Granite Parkway VII, Plano, TX 75024

the GRANTEE: TOBY SHAWN TRIESCH
1667 Hallmark, Canyon Lake, TX 78133

For and in consideration of the sum of Ten and 00/100 Dollars (\$10.00), and other good and valuable consideration to the undersigned paid by the Grantee herein named, the receipt of which is hereby acknowledged, the Grantor does hereby remise, release, and quitclaim unto Grantee, of the County of Comal and State of Texas, all of Grantor's right, title, and interest in the following described real property (including any improvements) in Comal County, Texas, to-wit: described in **Exhibit A**, attached hereto.

Subject to any restrictions, conditions, covenants, rights of way and easements of record; to have and to hold all of Grantor's right, title, and interest in the above-described premises, together with all and singular the rights and appurtenances thereto in any manner belonging, unto the said Grantee and Grantee's heirs and assigns forever, without express or implied warranty. All warranties that might arise by common law as well as any warranties in section 5.023 of the Texas Property Code (or its successor) are excluded.

When the context requires, singular nouns and pronouns include the plural.

EXECUTED this 11 day of August, 2025.

Fannie Mae n/k/a Federal National Mortgage Association

By: First Title and Escrow, Inc. DBA Title and Escrow of Texas, Inc. As Attorney in Fact

Name: Cirion R. Cline, Branch Manager
Title: Authorized Signatory

ACKNOWLEDGMENT

STATE OF Texas
COUNTY OF Brazos

§
§
§

BEFORE ME, the undersigned authority, on this day personally appeared Cizhon R. Cline, Branch Manager, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she/he executed the same for the purposes and consideration therein expressed. I certify under penalty of perjury under the laws of the State of Texas that the foregoing paragraph is true and correct.

SUBSCRIBED AND SWORN to before me on this 11 day of August, 2025, to certify which witness my hand and official seal.

[Signature]
Notary Public
Marcus Edwards
Notary Printed Name
The State of Brazos

My Commission Expires: 11/15/2028

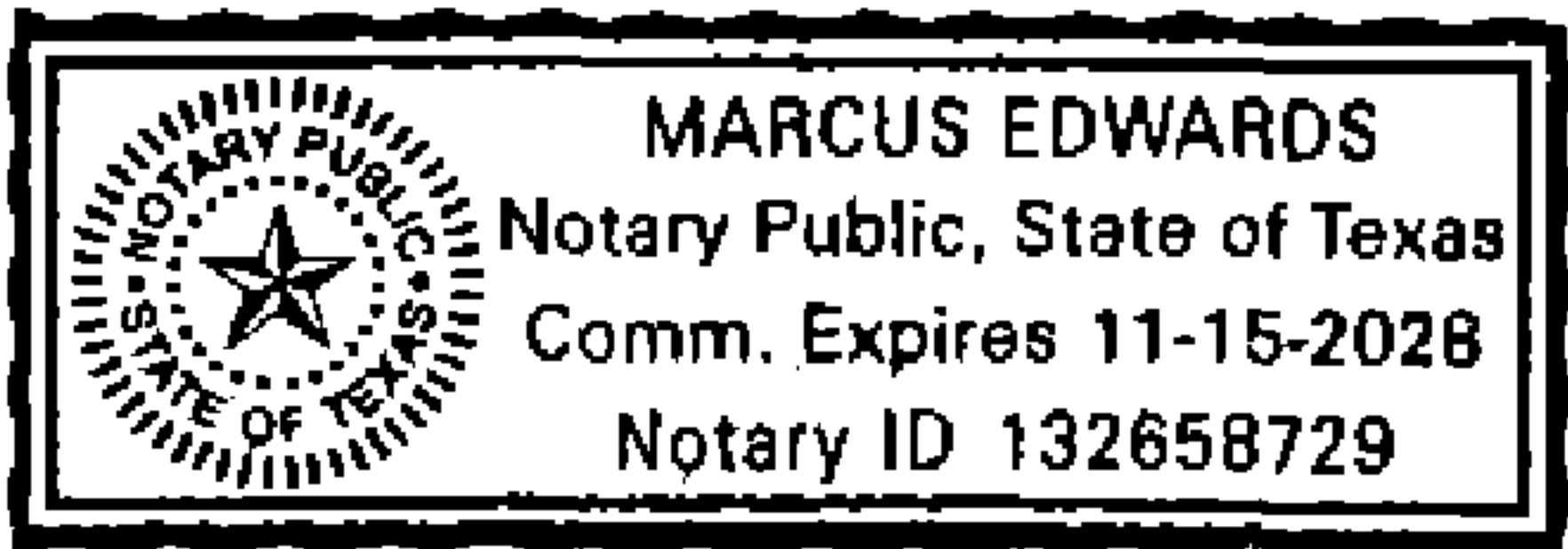


EXHIBIT "A"

BEING 1.065 ACRES OF LAND, CALLED TRACT 2, SITUATED WITHIN THE BEATY SEALE AND FORWOOD SURVEY NUMBER 909, ABSTRACT 795, COMAL COUNTY, TEXAS, SAID 1.065 ACRES OF LAND BEING THAT SAME PROPERTY AS DESCRIBED IN GENERAL WARRANTY DEED RESERVING VENDOR'S LIEN, DATED JUNE 9, 1969, GRANTOR: HANNO GUENTHER, GRANTEE: WM. HAL HODGES AND WIFE, LYNDALL R. HODGES RECORDED IN VOLUME 170, PAGE 691 OF THE DEED RECORDS OF COMAL COUNTY, TEXAS. A PLAT OF SURVEY HAS BEEN PREPARED TO ACCOMPANY THESE FIELD NOTES. THE BEARINGS RECITED HEREIN ARE BASED ON THE HEREIN ABOVE 1.065 ACRE TRACT OF LAND RECORDED IN VOLUME 170, PAGE 691 OF THE DEED RECORDS OF COMAL COUNTY, TEXAS. SAID 1.065 ACRES OF LAND, CALLED TRACT 2, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND IRON PIN AT THE NORTHWEST CORNER OF INSPIRING VIEW AND HALLMARK BEING THE EAST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2;

THENCE WITH THE NORTHWEST RIGHT-OF-WAY OF HALLMARK, SOUTH 39°29'00" WEST, 99.83 FEET TO A FOUND IRON PIN;

THENCE SOUTH 31°17'00" WEST, 108.16 FEET TO A FOUND IRON PIN BEING THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2 AND THE NORTHEAST CORNER OF A 1.761 ACRE TRACT OF LAND, CALLED TRACT 3, SURVEYED THIS DATE. SAID FOUND IRON PIN BEING ON THE NORTHEAST LINE OF A SIXTY (60) FOOT WIDE PRIVATE ROAD EASEMENT NO LONGER IN USE;

THENCE LEAVING THE NORTHWEST RIGHT-OF-WAY OF HALLMARK AND WITH THE NORTHEAST LINE OF THE SIXTY (60) FOOT PRIVATE ROAD EASEMENT, NORTH 63°08'30" WEST, 132.23 FEET TO A FOUND IRON PIN;

THENCE NORTH 32°37'00" WEST, AT 141.57 FEET CROSSING A SET IRON PIN BEING THE NORTH CORNER OF A 1.761 ACRE TRACT OF LAND, CALLED TRACT 3, SURVEYED THIS DATE, A TOTAL DISTANCE OF 150.11 FEET TO A FOUND IRON PIN BEING THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2, SAID FOUND IRON PIN ALSO BEING THE SOUTHWEST CORNER OF A 1.643 ACRE TRACT OF LAND, CALLED TRACT 1, SURVEYED THIS DATE;

THENCE LEAVING THE NORTHEAST LINE OF THE SIXTY (60) FOOT WIDE PRIVATE ROAD EASEMENT, AND WITH THE COMMON LINE OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND, CALLED TRACT 2 AND THE 1.643 ACRE TRACT OF LAND, CALLED TRACT 1, NORTH 74°09'41" EAST, 274.15 FEET TO A SET IRON PIN ON THE WEST RIGHT-OF-WAY OF INSPIRING VIEW, SAID SET IRON PIN BEING THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND AND, CALLED TRACT 2 AND THE SOUTHEAST CORNER OF THE 1.643 ACRE TRACT OF LAND, CALLED TRACT 1;

THENCE LEAVING THE COMMON LINE OF THIS HEREIN DESCRIBED 1.065 ACRE TRACT OF LAND AND THE 1.643 ACRE TRACT OF LAND, AND WITH THE WEST RIGHT-OF-WAY OF INSPIRING VIEW, SOUTH 30°54'15" EAST 106.65 FEET TO THE PLACE OF BEGINNING AND CONTAINING 1.065 ACRES OF LAND IN COMAL COUNTY, TEXAS ACCORDING TO A SURVEY MADE ON THE GROUND UNDER MY SUPERVISION ON AUGUST 20, 2008, BILL CALLENDER, REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4777.

After Recording Return to:

**New Braunfels Title Company-Main - Main Office
243 South Seguin Avenue
New Braunfels, TX 78130**

Reference Order Number: NB-4921-25

**Filed and Recorded
Official Public Records
Bobbie Koepp, County Clerk
Comal County, Texas
08/12/2025 04:02:39 PM
PRISCILLA 4 Pages(s)
202506025625**



Bobbie Koepp



COMAL COUNTY
ENGINEER'S OFFICE

ON-SITE SEWAGE FACILITY APPLICATION

195 DAVID JONAS DR
NEW BRAUNFELS, TX 78132
(830) 608-2090
WWW.CCEO.ORG

Date _____

Permit Number 118937

1. APPLICANT / AGENT INFORMATION

Owner Name Toby Shawn Triesch Agent Name Doug Dowlearn R.S.
Mailing Address 1667 Hallmark Agent Address PO BOX 212
City, State, Zip Canyon Lake, TX 78133 City, State, Zip Bulverde, TX 78163
Phone # _____ Phone # 210-878-8100
Email _____ Email TXSEPTIC@GMAIL.COM

2. LOCATION

Subdivision Name _____ Unit _____ Lot _____ Block _____
Survey Name / Abstract Number BEAUTY SEALE AND FORWOOD SUR 909, ABSTRACT 795 Acreage 1.065
Address 1667 Hallmark City Canyon Lake State TX Zip 78133

3. TYPE OF DEVELOPMENT

☒ Single Family Residential

Type of Construction (House, Mobile, RV, Etc.) Casita

Number of Bedrooms 2

Indicate Sq Ft of Living Area 820

☐ Non-Single Family Residential

(Planning materials must show adequate land area for doubling the required land needed for treatment units and disposal area)

Type of Facility _____

Offices, Factories, Churches, Schools, Parks, Etc. - Indicate Number Of Occupants _____

Restaurants, Lounges, Theaters - Indicate Number of Seats _____

Hotel, Motel, Hospital, Nursing Home - Indicate Number of Beds _____

Travel Trailer/RV Parks - Indicate Number of Spaces _____

Miscellaneous _____

Estimated Cost of Construction: \$ _____ (Structure Only)

Is any portion of the proposed OSSF located in the United States Army Corps of Engineers (USACE) flowage easement?

☐ Yes ☒ No (If yes, owner must provide approval from USACE for proposed OSSF improvements within the USACE flowage easement)

Source of Water ☒ Public ☐ Private Well ☐ Rainwater

4. SIGNATURE OF OWNER

By signing this application, I certify that:

- The completed application and all additional information submitted does not contain any false information and does not conceal any material facts. I certify that I am the property owner or I possess the appropriate land rights necessary to make the permitted improvements on said property.
- Authorization is hereby given to the permitting authority and designated agents to enter upon the above described property for the purpose of site/soil evaluation and inspection of private sewage facilities..
- I understand that a permit of authorization to construct will not be issued until the Floodplain Administrator has performed the reviews required by the Comal County Flood Damage Prevention Order.
- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

Signature of Owner

8/13/25
Date



Planning Materials & Site Evaluation as Required Completed By _____

System Description _____

Designer to be the
same on all
paperwork.

Size of Septic System Required Based on Planning Materials & Soil Evaluation

Tank Size(s) (Gallons) _____ Absorption/Application Area (Sq Ft) _____

Gallons Per Day (As Per TCEQ Table III) _____

(Sites generating more than 5000 gallons per day are required to obtain a permit from TCEQ.)

Is the property located over the Edwards Recharge Zone? ☐ Yes ☐ No

(If yes, the planning materials must be completed by a Registered Sanitarian (R.S.) or Professional Engineer (P.E.))

Is there an existing TCEQ approved WPAP for the property? ☐ Yes ☐ No

(If yes, the R.S. or P.E. shall certify that the OSSF design complies with all provisions of the existing WPAP.)

Is there at least one acre per single family dwelling as per 285.40(c)(1)? ☐ Yes ☐ No

If there is no existing WPAP, does the proposed development activity require a TCEQ approved WPAP? ☐ Yes ☐ No

(If yes, the R.S. or P.E. shall certify that the OSSF design will comply with all provisions of the proposed WPAP. A Permit to Construct will not be issued for the proposed OSSF until the proposed WPAP has been approved by the appropriate regional office.)

Is the property located over the Edwards Contributing Zone? ☐ Yes ☐ No

Is there an existing TCEQ approval CZP for the property? ☐ Yes ☐ No

(If yes, the P.E. or R.S. shall certify that the OSSF design complies with all provisions of the existing CZP.)

If there is no existing CZP, does the proposed development activity require a TCEQ approved CZP? ☐ Yes ☐ No

(If yes, the R.S. or P.E. shall certify that the OSSF design will comply with all provisions of the proposed CZP. A Permit to Construct will not be issued for the proposed OSSF until the CZP has been approved by the appropriate regional office.)

Is this property within an incorporated city? ☐ Yes ☐ No

If yes, indicate the city: _____

By signing this application, I certify that:

- The information provided above is true and correct to the best of my knowledge.

- I affirmatively consent to the online posting/public release of my e-mail address associated with this permit application, as applicable.

Andrea Jeanne Dowleau

Signature of Designer

Date

Date: 8/15/2025

Applicant Information:

Name: Toby Triesch

Address: 1667 Hallmark

City, State & Zip Code: Seguin, TX 78155

Phone:

Email:

Site Evaluator Information:

Name: Douglas J. Dowlearn

Company: D.A.D. Services, Inc.

Address: 703 Oak Drive

City, State & Zip: Blanco, TX 78606

Phone: (817)878-8100

Email: t.dowlearn@gmail.com

VOID

Property Location:

Subdivision: BEATY SEAR AND FORWOOD SUR 909,
ABSTRACT 795

Street/Road Address: 1667 Hallmark

City: Canyon Lake Zip: 78133

Additional Info: Comal County

Depth	Texture Class	Soil Texture	Structure (For Class III – blocky, platy or massive)	Drainage (Mottles/Water Table)	Restrictive Horizon	Observation
Soil Boring #1 60"	III	0-12" Clay Loam	Blocky	n/a	12"+	Clear surface rock from drainfield area, and ensure there is a minimum of 12" suitable soil between the bottom of drip lines, and the restrictive horizon. Class II soil may need to be imported to maintain the minimum of 12" of soil between bottom of drip lines and restrictive horizon
Soil Boring #2 60"		SAME AS ABOVE				

DESIGN SPECIFICATIONS

Application Rate (RA): 0.2

OSSF is designed for: 2 bedroom 820 Sq. Ft residence/casita

180 gallons per day

An aerobic treatment/drip disposal system is to be utilized based on the site evaluation.

900 sq. ft. disposal area required

New 800 gallon aerobic treatment unit

Calculations: Absorption Area: $Q/RA = 180/0.2 = 900$ Sq. Ft.

FEATURES OF SITE AREA

Presence of 100-year flood zone: NO

Existing or proposed water well in nearby area: NO

Presence of adjacent ponds, streams, water impoundments: NO

Presence of upper water shed: NO

Organized sewage service available to lot: NO

I certify that the findings of this report are based on my field observations and are accurate to the best of my ability. The site evaluation and OSSF design are subject to approval by the TCEQ or the local authorized agent. The planning materials and the OSSF design should not be considered final until a permit to construct has been issued.

Site Evaluator:

NAME: Andrea J. Dowlearn

Signature:

Andrea Jeanne Dowlearn

License No. OS0035060

TDH: 4980

An inspector will conduct a preliminary site inspection on 9/10/25. Additional comments may follow.



COMAL COUNTY
ENGINEER'S OFFICE

**OSSF DEVELOPMENT APPLICATION
CHECKLIST**

Staff will complete shaded items

		118937
Date Received	Initials	Permit Number

Instructions:

Place a check mark next to all items that apply. For items that do not apply, place "N/A". This OSSF Development Application Checklist **must** accompany the completed application.

OSSF Permit

- ☒ Completed Application for Permit for Authorization to Construct an On-Site Sewage Facility and License to Operate
- ☒ Site/Soil Evaluation Completed by a Certified Site Evaluator or a Professional Engineer
- ☒ Planning Materials of the OSSF as Required by the TCEQ Rules for OSSF Chapter 285. Planning Materials shall consist of a scaled design and all system specifications.
- ☒ Required Permit Fee - See Attached Fee Schedule
- ☒ Copy of Recorded Deed
- ☒ Surface Application/Aerobic Treatment System
 - ☒ Recorded Certification of OSSF Requiring Maintenance/Affidavit to the Public
 - ☒ Signed Maintenance Contract with Effective Date as Issuance of License to Operate

I affirm that I have provided all information required for my OSSF Development Application and that this application constitutes a completed OSSF Development Application.

Signature of Applicant

8/13/25

Date

___ COMPLETE APPLICATION	
Check No. _____	Receipt No. _____

___ INCOMPLETE APPLICATION
(Missing Items Circled, Application Refused)